

SITE DEVELOPMENT PLAN FOR LIVING WATER EXPRESS CAR WASH WITH WAIVERS



WSB PROJECT NO.:
012509-000

SCALE: DESIGN BY:
AS SHOWN MH
PLAN BY: CHECK BY:
CM BF

REVISIONS	
NO.	DESCRIPTION

I HEREBY AFFIRM THAT THESE FINAL CONSTRUCTION PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH ALL APPLICABLE TOWN OF AURORA AND STATE OF COLORADO STANDARDS AND STATUTES, RESPECTIVELY; AND THAT I AM FULLY RESPONSIBLE FOR ALL DESIGN AND REVISIONS RELATIVE TO SAID PLANS.

BRIAN W. FRANK
DATE: LIC. NO.: 53667

LIVING WATER CAR WASH
857 SOUTH HAVANA STREET
AURORA, COLORADO

COVER SHEET

CJ101



Sheet List Table	
SHEET NUMBER	SHEET TITLE
CJ101	COVER SHEET
CJ102	GENERAL NOTES
CS101	SITE PLAN
CS501	SITE DETAILS
CS502	SITE DETAILS
CG101	GRADING PLAN
CU101	UTILITY PLAN
LS101	LANDSCAPE PLAN
LS501	LANDSCAPE DETAILS
CL101	PHOTOMETRIC PLAN
CL501	PHOTOMETRIC CUT SHEETS
Sk-1	EXTERIOR ELEVATIONS
Sk-2	TRASH ENCLOSURE
Sk-3	RENDERING

SIGNATURE BLOCK:

LIVING WATER EXPRESS CAR WASH
(OFFICIAL PROJECT NAME)

LEGAL DESCRIPTION: LOT 2, BLOCK 1, MITRAH SUBDIVISION FILING NO. 1, A RESUBDIVISION OF A PART OF TRACT 3, RANGE VIEW SITUATED IN THE SOUTHEAST 1/4 OF SECTION 15, TOWNSHIP 4 SOUTH, RANGE 67 WEST, OF THE 6TH P.M. CITY OF AURORA, COUNTY OF ARAPAHOE, STATE OF COLORADO

THIS SITE PLAN AND ANY AMENDMENTS HERETO, UPON APPROVAL BY THE CITY OF AURORA AND RECORDING, SHALL BE BINDING UPON THE APPLICANTS THEREFORE, THEIR SUCCESSORS AND ASSIGNS. THIS PLAN SHALL LIMIT AND CONTROL THE ISSUANCE AND VALIDITY OF ALL BUILDING PERMITS, AND SHALL RESTRICT AND LIMIT THE CONSTRUCTION, LOCATION, USE, OCCUPANCY AND OPERATION OF ALL LAND AND STRUCTURES WITHIN THIS PLAN TO ALL CONDITIONS, REQUIREMENTS, LOCATIONS AND LIMITATIONS SET FORTH HEREIN. ABANDONMENT, WITHDRAWAL OR AMENDMENT OF THIS PLAN MAY BE PERMITTED ONLY UPON APPROVAL OF THE CITY OF AURORA.

IN WITNESS THEREOF, HAS CAUSED THESE
(CORPORATION, COMPANY, OR INDIVIDUAL)

PRESENTS TO BE EXECUTED THIS DAY OF AD, .

BY: CORPORATE
(PRINCIPALS OR OWNERS) SEAL

STATE OF COLORADO)SS
COUNTY OF)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS DAY OF
 AD, BY

 (PRINCIPALS OR OWNERS)

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY
SEAL

 (NOTARY PUBLIC)

MY COMMISSION EXPIRES NOTARY BUSINESS ADDRESS:

CITY OF AURORA APPROVALS

CITY ATTORNEY: DATE:

PLANNING DIRECTOR: DATE:

PLANNING COMMISSION: DATE:
(CHAIRPERSON)

CITY COUNCIL: DATE:
(MAYOR)

ATTEST: DATE:
(CITY CLERK)

DATABASE APPROVAL DATE

RECORDER'S CERTIFICATE:
ACCEPTED FOR FILING IN THE OFFICE OF THE CLERK AND RECORDER OF

COLORADO AT O'CLOCK M, THIS DAY OF AD, .

CLERK AND RECORDER: DEPUTY:

INDEMNIFICATION AND ADHERENCE TO STANDARDS STATEMENTS
These plans have been reviewed by the Town Of AURORA for concept only. The review does not imply responsibility by the reviewing department, the Town Engineer, or the Town of AURORA for accuracy and correctness of the calculations. Furthermore, the review does not imply that quantities of items on the plans are the final quantities required. The review shall not be construed for any reason as acceptance of financial responsibility by the Town for additional quantities of items shown that may be required during the construction phase. All work shall be constructed in accordance with the Town Of AURORA Municipal Code, Technical Manuals and/or other Town-approved applicable standards.

TOWN APPROVAL BLOCK
TOWN OF AURORA APPROVAL
PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM
DATE OF DEVELOPMENT SERVICES APPROVAL

Approved By:

Development Services

Date

1 PROJECT LOCATION MAP

CJ101 SCALE: NOT TO SCALE

OWNER:

MITRAH INVESTMENTS
AND HOLDINGS, LLC
17050 E MAINSTREET
AURORA, CO 80134
(303) 949-4831

ENGINEER / PLANNER / LANDSCAPE ARCHITECT:

WSB & ASSOCIATES INC.
720 SOUTH COLORADO BLVD
DENVER, COLORADO 80246

ARCHITECT:

HOVER ARCHITECTURE
8089 SOUTH LINCOLN STREET
SUITE 201
LITTLETON, COLORADO 80122

LANDSCAPE WAIVER REQUEST FOR SOUTH PROPERTY LINE:
CITY CODE SECTION: 146-1423 LANDSCAPE SITE PERIMETER
BUFFERS FOR NON-STREET FRONTAGES

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF PRIVATE UTILITIES HAS BEEN DESIGNATED UTILITY QUALITY LEVEL D. THESE QUALITY LEVELS WERE DETERMINED ACCORDING TO THE GUIDELINES OF C/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE DATA". THE CONTRACTOR IS TO DETERMINE THE TYPE AND LOCATION OF PRIVATE UTILITIES AS MAY BE DEEMED NECESSARY TO AVOID DAMAGE THERETO.

AMENDMENTS

--

CITY OF AURORA SITE NOTES:

1.

THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS, INCLUDING THE HOMEOWNERS OR MERCHANTS ASSOCIATION, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL FIRE LANE SIGNS AS REQUIRED BY THE CITY OF AURORA.
2.

ALL SIGNS MUST CONFORM TO THE CITY OF AURORA SIGN CODE.
3.

RIGHT OF WAY FOR INGRESS AND EGRESS FOR SERVICE AND EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, ON AND THROUGH ANY AND ALL PRIVATE ROADS AND WAYS NOW OR HEREAFTER ESTABLISHED ON THE DESCRIBED PROPERTY, AND THE SAME ARE HEREBY DESIGNATED AS "SERVICE/EMERGENCY AND UTILITY EASEMENTS" AND SHALL BE POSTED "NO PARKING - FIRE LANE."
4.

"ACCESSIBLE EXTERIOR ROUTES" SHALL BE PROVIDED FROM PUBLIC TRANSPORTATION STOPS, ACCESSIBLE PARKING AND ACCESSIBLE PASSENGER LOADING ZONES AND PUBLIC SIDEWALKS TO 60% OF THE ACCESSIBLE BUILDING ENTRANCE THEY SERVE. THE ACCESSIBLE ROUTE BETWEEN ACCESSIBLE PARKING AND ACCESSIBLE BUILDING ENTRANCES SHALL BE THE MOST PRACTICAL DIRECT ROUTE. THE ACCESSIBLE ROUTE MUST BE LOCATED WITHIN A SIDEWALK. NO SLOPE ALONG THIS ROUTE MAY EXCEED 1:20 WITHOUT PROVIDING A RAMP WITH A MAXIMUM SLOPE OF 1:12 AND HANDRAILS. CROSSWALKS ALONG THIS ROUTE SHALL BE WIDE ENOUGH TO WHOLLY CONTAIN THE CURB RAMP WITH A MINIMUM WIDTH OF 36" AND SHALL BE PAINTED WITH WHITE STRIPES. THE CITY OF AURORA ENFORCES HANDICAPPED ACCESSIBILITY REQUIREMENTS.
5.

THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT.
6.

THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED SITE PLAN OR LANDSCAPE PLAN ON FILE IN THE PLANNING DEPARTMENT. ALL LANDSCAPING WILL BE INSTALLED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
7.

ALL CROSSINGS AND ENCROACHMENTS BY PRIVATE LANDSCAPE IRRIGATION SYSTEMS OR PRIVATE UTILITIES INTO EASEMENTS AND STREET RIGHTS-OF-WAY OWNED BY THE CITY OF AURORA ARE ACKNOWLEDGED BY THE UNDERSIGNED AS BEING SUBJECT TO CITY OF AURORA'S USE AND OCCUPANCY OF THE SAID EASEMENTS OR RIGHTS-OF-WAY. THE UNDERSIGNED, THEIR SUCCESSORS AND ASSIGNS, HEREBY AGREE TO INDEMNIFY THE CITY OF AURORA FOR ANY LOSS, DAMAGE OR REPAIR TO CITY FACILITIES THAT MAY RESULT FROM THE INSTALLATION, OPERATION OR MAINTENANCE OF SAID PRIVATE IRRIGATION SYSTEMS OR PRIVATE UTILITIES.
8.

THE APPROVAL OF THIS DOCUMENT DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS AND BUILDING PLANS. CONSTRUCTION PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
9.

ALL BUILDING ADDRESS NUMBERS SHALL COMPLY WITH SECTIONS 126-271 AND 126-278 OF THE AURORA CITY CODE.
10.

ALL ROOFTOP MECHANICAL EQUIPMENT AND VENTS GREATER THAN EIGHT (8) INCHES IN DIAMETER MUST BE SCREENED. SCREENING MAY BE DONE EITHER WITH AN EXTENDED PARAPET WALL OR A FREESTANDING SCREEN WALL. SCREENS SHALL BE AT LEAST AS HIGH AS THE EQUIPMENT THEY HIDE. IF EQUIPMENT IS VISIBLE BECAUSE SCREENS DON'T MEET THIS MINIMUM HEIGHT REQUIREMENT, THE DIRECTOR OF PLANNING MAY REQUIRE CONSTRUCTION MODIFICATIONS PRIOR TO THE ISSUANCE OF A PERMANENT CERTIFICATE OF OCCUPANCY.
11.

NOTWITHSTANDING ANY SURFACE IMPROVEMENTS, LANDSCAPING, PLANTING OR CHANGES SHOWN IN THESE SITE OR CONSTRUCTION PLANS, OR ACTUALLY CONSTRUCTED OR PUT IN PLACE, ALL UTILITY EASEMENTS MUST REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH TO ALLOW FOR ADEQUATE MAINTENANCE EQUIPMENT. ADDITIONALLY, NO INSTALLATION, PLANTING, CHANGE IN THE SURFACE, ETC., SHALL INTERFERE WITH THE OPERATION OF THE UTILITY LINES PLACED WITHIN THE EASEMENT. BY SUBMITTING THESE SITE OR CONSTRUCTION PLANS FOR APPROVAL, THE LANDOWNER RECOGNIZES AND ACCEPTS THE TERMS, CONDITIONS AND REQUIREMENTS OF THIS NOTE.
12.

FINAL GRADE SHALL BE AT LEAST SIX (6) INCHES BELOW ANY EXTERIOR WOOD SIDING ON THE PREMISES.
13.

ALL INTERESTED PARTIES ARE HEREBY ALERTED THAT THIS SITE PLAN IS SUBJECT TO ADMINISTRATIVE CHANGES AND AS SHOWN ON THE ORIGINAL SITE PLAN ON FILE IN THE AURORA CITY PLANNING OFFICE AT THE MUNICIPAL BUILDING. A COPY OF THE OFFICIAL CURRENT PLAN MAY BE PURCHASED THERE. LIKEWISE, SITE PLANS ARE REQUIRED TO AGREE WITH THE APPROVED SUBDIVISION PLAT OF RECORD AT THE TIME OF A BUILDING PERMIT; AND IF NOT, MUST BE AMENDED TO AGREE WITH THE PLAT AS NEEDED, OR VICE VERSA.
14.

ERRORS IN APPROVED SITE PLANS RESULTING FROM COMPUTATIONS OR INCONSISTENCIES IN THE DRAWINGS MADE BY THE APPLICANT ARE THE RESPONSIBILITY OF THE PROPERTY OWNER OF RECORD. WHERE FOUND, THE CURRENT MINIMUM CODE REQUIREMENTS WILL APPLY AT THE TIME OF BUILDING PERMIT. PLEASE BE SURE THAT ALL PLAN COMPUTATIONS ARE CORRECT.
15.

THE 2015 INTERNATIONAL FIRE CODE, APPENDIX J AND CITY OF AURORA CODE. CHAPTER 66-38 FIRE PREVENTION REGULATIONS, REQUIRE ALL BUILDINGS TO BE ASSESSED FOR ADEQUATE ELECTRICAL INSPECTIONS. THE GENERAL CONTRACTOR (GC) WILL BE NOTIFIED BY A BUILDING LIFE SURVEILLANCE. A STRUCTURE THAT HAS PASSED THIS SURVEILLANCE REQUIRES NO FURTHER ACTION BY THE GC. A FAILED RADIO SURVEILLANCE WILL REQUIRE AN INDEPENDENT THIRD PARTY RADIO STUDY FOR THE ENTIRE BUILDING AT THE BUILDING AT THE OWNER OR DEVELOPERS EXPENSE. WHERE AN EMERGENCY RESPONDER RADIO COVERAGE SYSTEM IS REQUIRED. A DESIGNATED CONTRACTOR SHALL SUBMIT PLANS TO THE BUILDING DIVISION TO OBTAIN A BUILDING PERMIT PRIOR TO INSTALLATION.
16.

ALL REPRESENTATIONS AND COMMITMENTS MADE BY APPLICANTS AND PROPERTY OWNERS AT PUBLIC HEARINGS REGARDING THIS PLAN ARE BINDING UPON THE APPLICANT, PROPERTY OWNER, AND ITS HEIRS, SUCCESSORS, AND ASSIGNS.
17.

ARCHITECTURAL FEATURES, SUCH AS BAY WINDOWS, FIREPLACES, ROOF OVERHANGS, GUTTERS, EAVES, FOUNDATIONS, FOOTINGS, CANTILEVERED WALLS, ETC, ARE NOT ALLOWED TO ENCROACH INTO ANY EASEMENT OR FIRE LANE.
18.

THE VENDOR OF ANY FUTURE SALE OF THE REAL PROPERTY SHALL PROVIDE THE REQUIRED NOTICE PER CITY CODE SECTION 146-1587(C) TO BE RECORDED WITH THE COUNTY CLERK AND RECORDER AND SHALL PROVIDE SUCH NOTICE TO EACH PROSPECTIVE PURCHASER OF ANY AND ALL SAID PROPERTY. SEE EXHIBIT C4 UNDER THE AIRPORT RELATED LAND USE RESTRICTIONS SECTION OF THIS GUIDEBOOK.

DATA BLOCK

LAND AREA WITHIN PROPERTY LINES	36,054 SF0.8277 AC
NUMBER OF BUILDINGS	1
BUILDING HEIGHT	32'-0" TO TOP OF ARCHITECTURAL FEATURE
BUILDING CONSTRUCTION TYPE V-B AND NON SPRINKLERED	24'-10" AT TOP OF ROOF
TOTAL BUILDING COVERAGE AND GFA	5,846 SF0.1296 AC15.66%
HARD SURFACE AREA	11,374 SF0.2611 AC31.55%
LANDSCAPE AREA	7,120 SF0.1635 AC19.75%
SIDEWALKS AND PATIOS	2,945 SF0.0676 AC8.17%
PRESENT ZONING CLASSIFICATION	SUSTAINABLE INFILL REDEVELOPMENT
MAXIMUM PERMITTED/ALLOWABLE SIGN AREA	MAXIMUM SIGN AREA NOT TO EXCEED 94 SF. NOT ONE SIGN CAN BE LARGER THAN 200 SF.
PROPOSED TOTAL SIGN AREA	MAXIMUM SIGNAGE SHALL BE NO GREATER THAN 94 SF FOR TOTAL SIGNAGE AREA.
PROPOSED NUMBER OF SIGNS	2 WALL SIGNS (1 SHOWN)
PROPOSED MONUMENT SIGN	1 MONUMENT SIGN.
PROPOSED MONUMENT SIGN AREA	TBD-ALL SIGNS WILL BE SUBMITTED UNDER SEPARATE PERMIT
PARKING SPACES REQUIRED	1 PARKING SPACE PER WASHING MODULE PLUS 1 DRYING SPACE. + * SIR PARKING, SECTION 146-736 (B)
STACKING	2 CARS STACKING ARE PROVIDED
PARKING SPACES PROVIDED	3 VEHICULAR PARKING STALLS ARE PROVIDED *
VAN ACCESSIBLE SPACES REQUIRED	1
VAN ACCESSIBLE SPACES PROVIDED	1
BIKE PARKING SPACES REQUIRED	3% OR 1 BIKE PARKING STALL / 1 RACK
BIKE PARKING SPACES PROVIDED	6 BICYCLE PARKING STALLS / 3 BIKE RACKS



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BRIAN W. FRANK

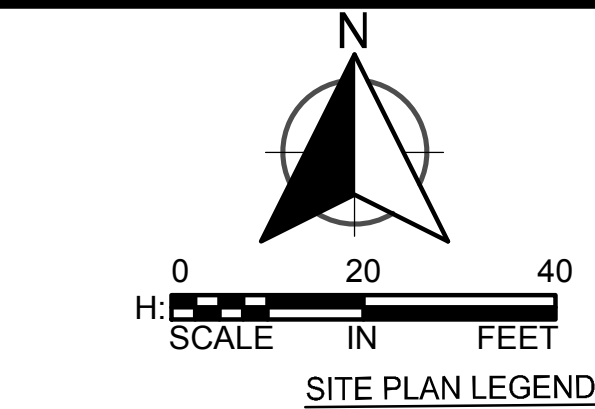
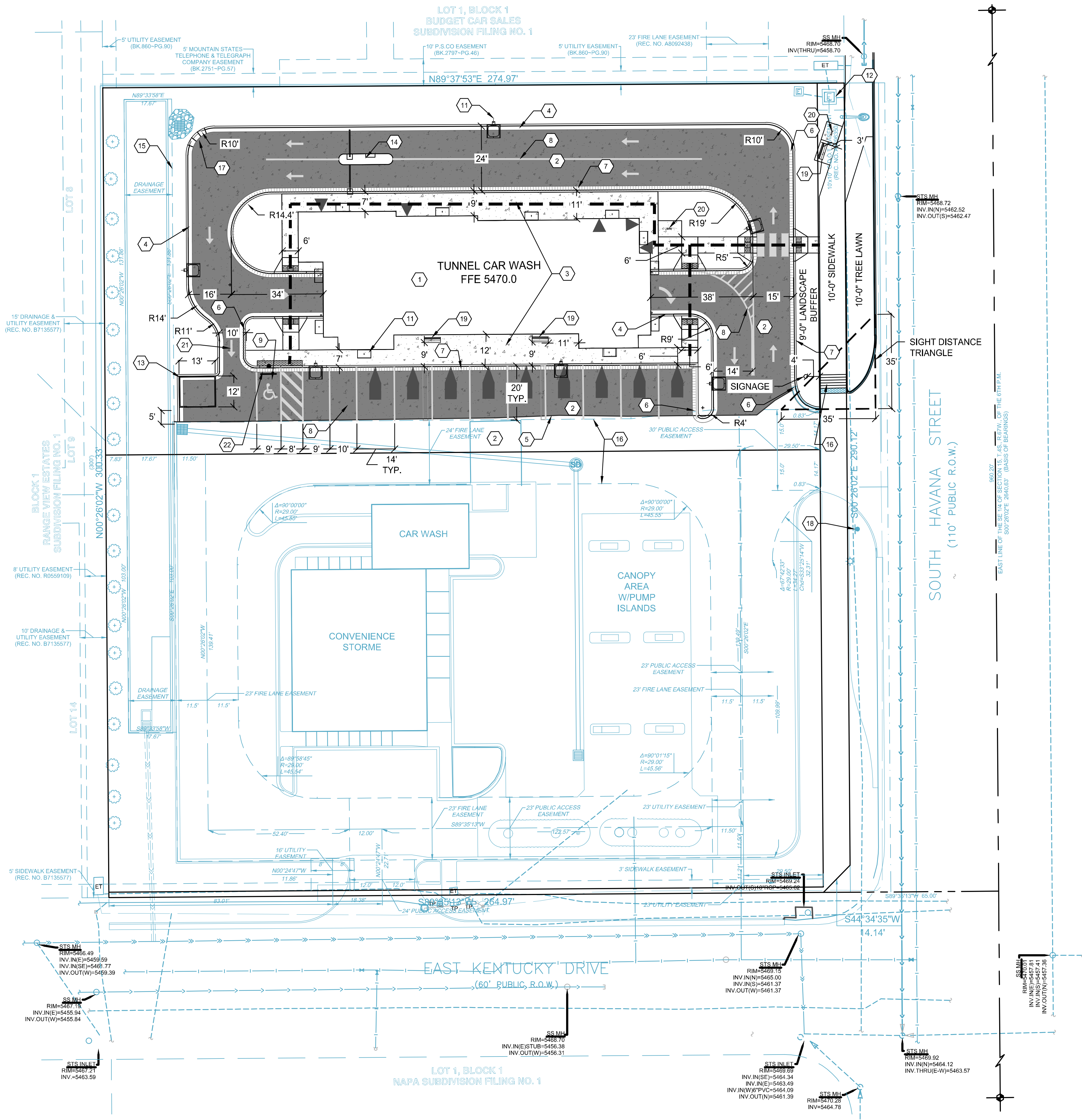
DATE: --- LIC. NO: 53667

LIVING WATER CAR WASH

857 SOUTH HAVANA STREET
AURORA, COLORADO

GENERAL NOTES

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- PROPERTY LINE
- EASEMENT
- CONCRETE WALK
- CONCRETE PAVEMENT
- BUILDING ENTRANCE
- VAC STALL
- REVERSE CURB
- PEDESTRIAN ACCESSIBLE ROUTE
- TRAFFIC FLOW ARROW
- EXISTING DRAINAGE GRATE
- EXISTING STORM DRAIN
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING ELECTRICAL BOX

KEYNOTES

- NEW, SINGLE STORY BUILDING
- CONCRETE PAVEMENT, SEE 3/CS501
- CONCRETE SIDEWALK, SEE 2/CS501
- B618 CONCRETE CURB & GUTTER, TYPICAL, SEE 3/CS502
- EXISTING ASPHALT EDGE OF CURB (TO BE REMOVED)
- CURB TRANSITION POINT
- REVERSE CURB, SEE 3/CS502
- PAINTED PARKING STRIPE, 4" WIDE, WHITE, TYPICAL
- VAN ACCESSIBLE PARKING STALL, SEE 4/CS502
- PAD FOR VACUUM PUMP
- SITE LIGHTING, SEE PHOTOMETRIC PLAN CL101.
- ELECTRIC TRANSFORMER PAD
- TRASH ENCLOSURE, SEE SHEET SK-2
- PAY ISLAND
- DRAINAGE AND/OR UTILITY EASEMENT
- EXISTING CURB RAMP
- CURB OPEN CUT, SEE 4/CS501
- EXISTING STOP SIGN
- 6' BENCH
- "U" SHAPED BIKE RACK WITH PARKING FOR 2 BIKES
- BAIL OUT LANE
- CURB STOP

SITE PLAN NOTES

- REFER TO ARCHITECTURAL AND/OR STRUCTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS, STOOP AND RAMP LOCATIONS.
- THE 2015 INTERNATIONAL FIRE CODE, APPENDIX J AND CITY OF AURORA CODE, CHAPTER 66-38 FIRE PREVENTION REGULATIONS, REQUIRE ALL BUILDINGS TO BE ASSESSED FOR ADEQUATE EMERGENCY RESPONDER RADIO COVERAGE. AT THE TIME THE STRUCTURE IS AT FINAL FRAME AND FINAL ELECTRICAL INSPECTIONS. THE GENERAL CONTRACTOR (GC) WILL BE NOTIFIED BY A BUILDING DIVISION LIFE SAFETY INSPECTOR AS TO WHETHER THE STRUCTURE HAS PASSED OR FAILED THE PRELIMINARY RADIO SURVEILLANCE. A STRUCTURE THAT HAS PASSED THIS SURVEILLANCE REQUIRES NO FURTHER ACTION BY THE GC. A FAILED RADIO SURVEILLANCE WILL REQUIRE AN INDEPENDENT THIRD PARTY RADIO STUDY FOR THE ENTIRE BUILDING AT THE OWNER OR DEVELOPERS EXPENSE. WHERE AN EMERGENCY RESPONDER RADIO COVERAGE SYSTEM IS REQUIRED, A DESIGNATED CONTRACTOR SHALL SUBMIT PLANS TO THE BUILDING DIVISION TO OBTAIN A BUILDING PERMIT PRIOR TO INSTALLATION.

NOT FOR CONSTRUCTION



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PLAN BY: CM

DESIGN BY: MH
CHECK BY: BF

REVISIONS

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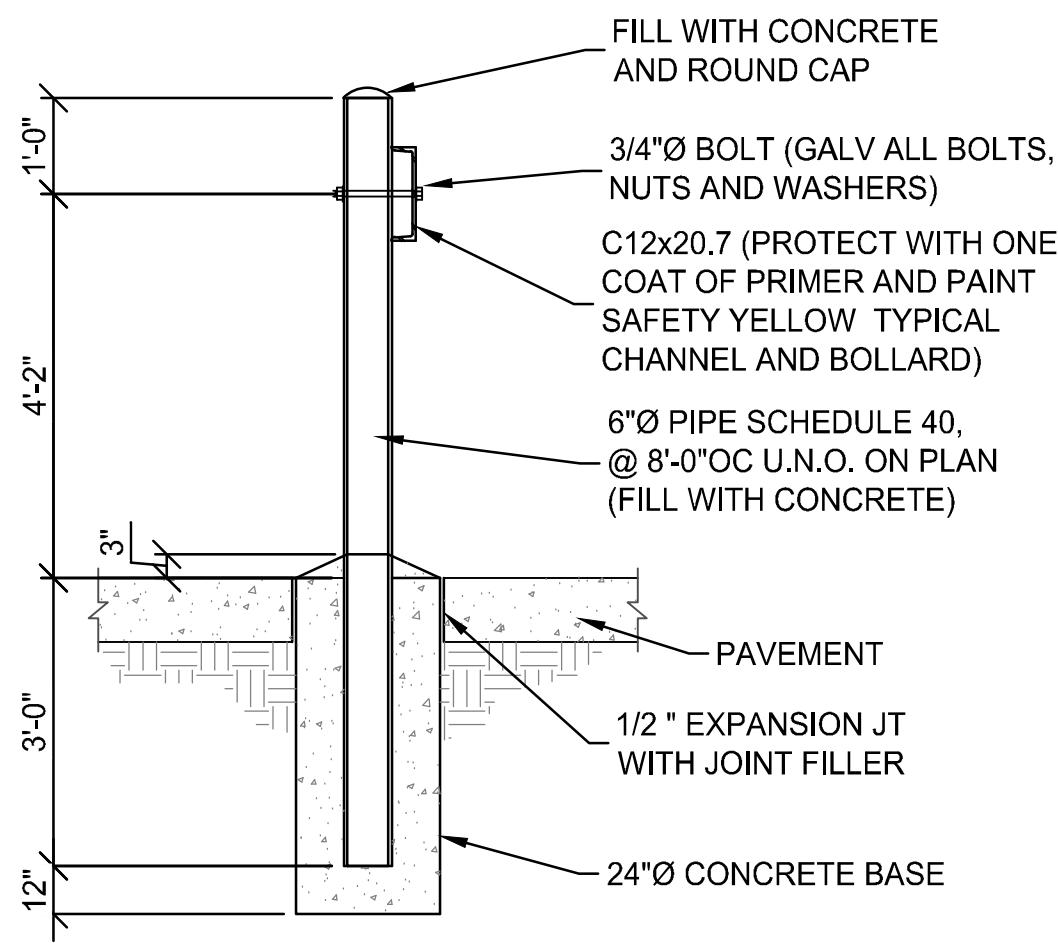
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BRIAN W. FRANK
DATE: --- L.C. NO.: 53667

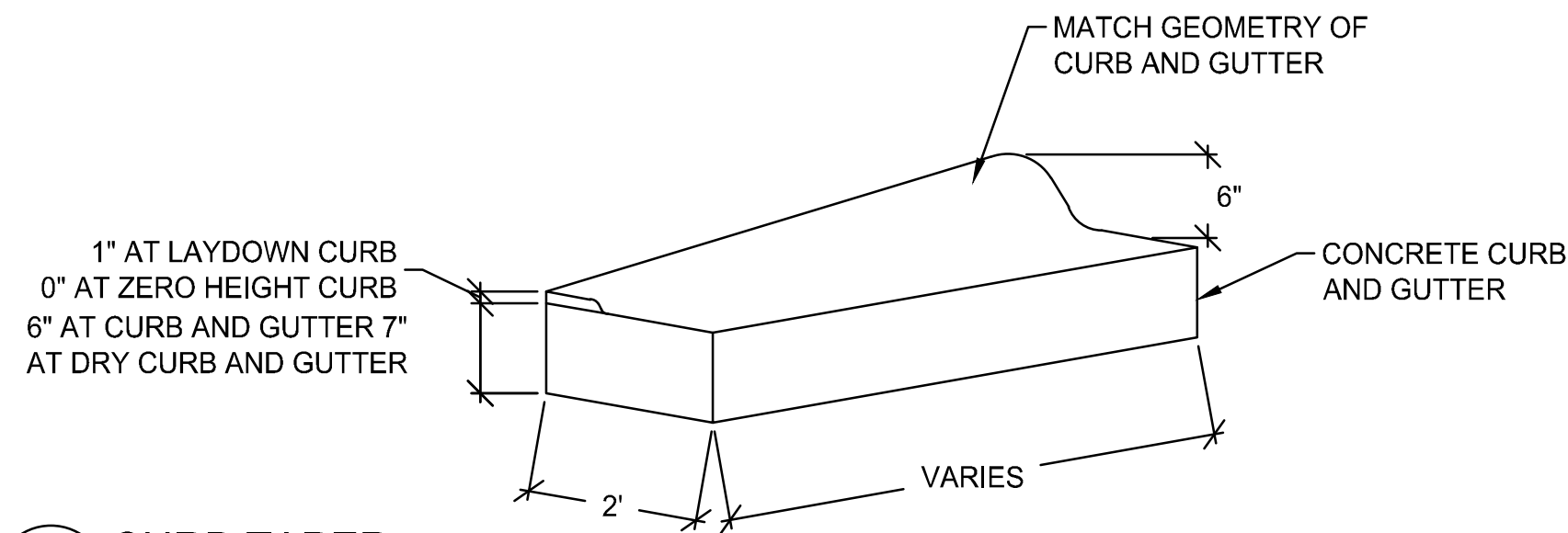
LIVING WATER CAR WASH
AURORA, COLORADO
857 SOUTH HAVANA STREET

SITE PLAN

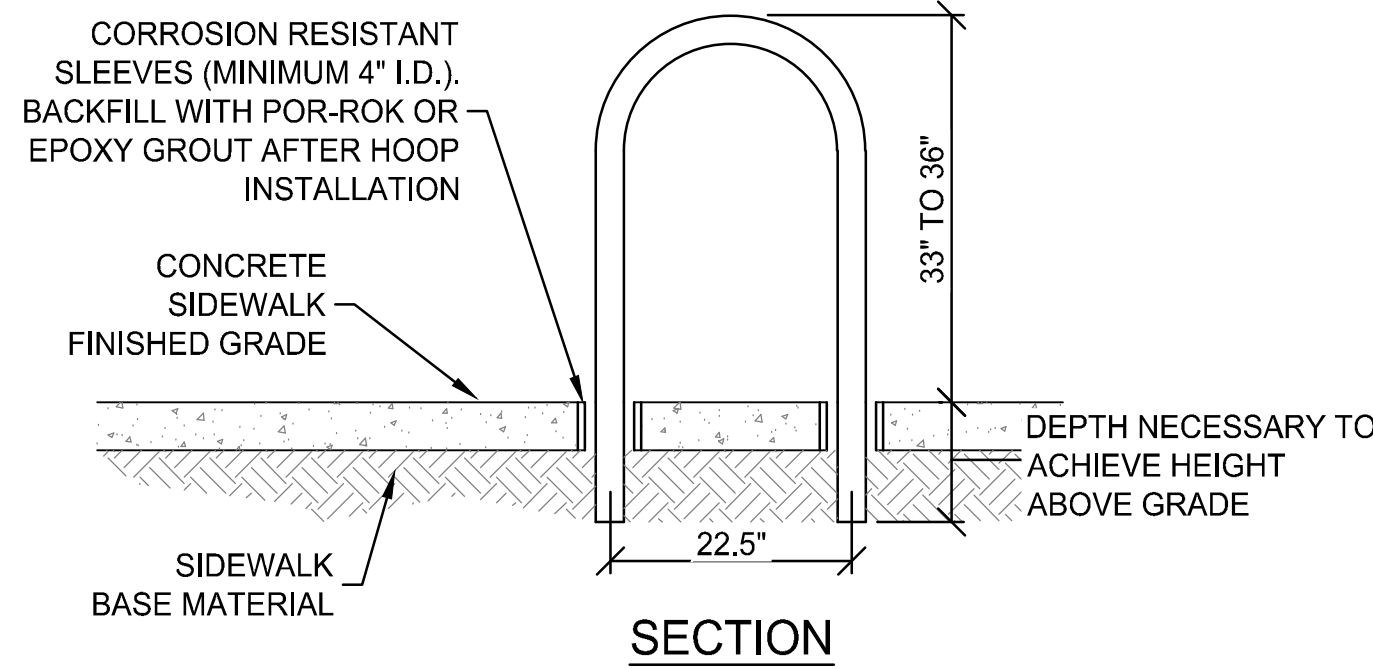
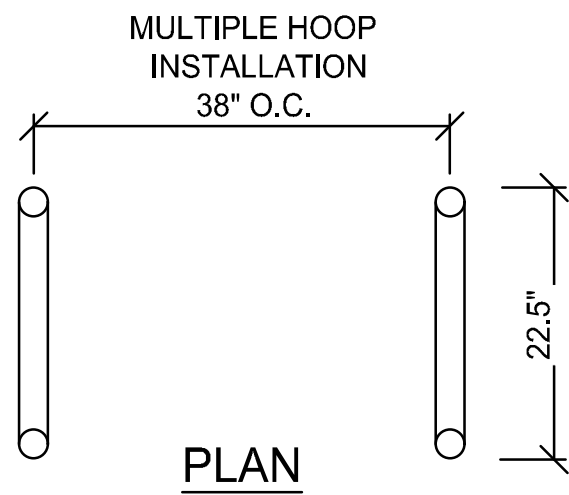
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1 BOLLARD WITH CHANNEL
CS501 SCALE: NO SCALE

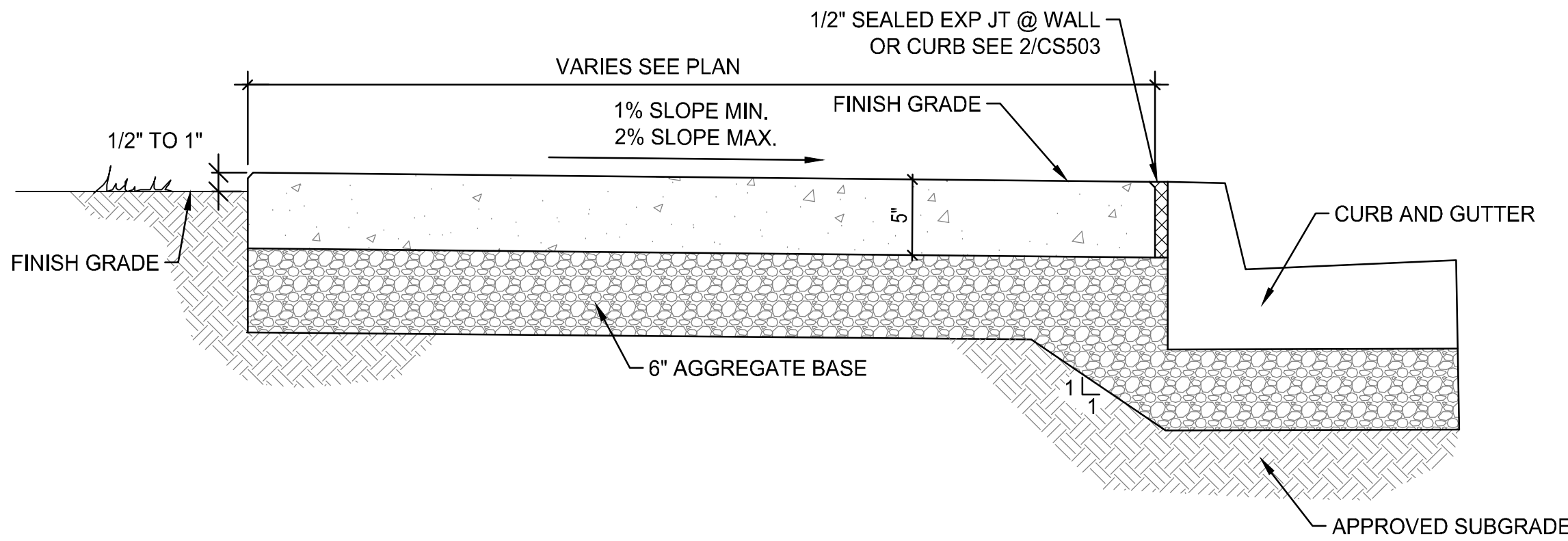


4 CURB TAPER
CS501 SCALE: NO SCALE

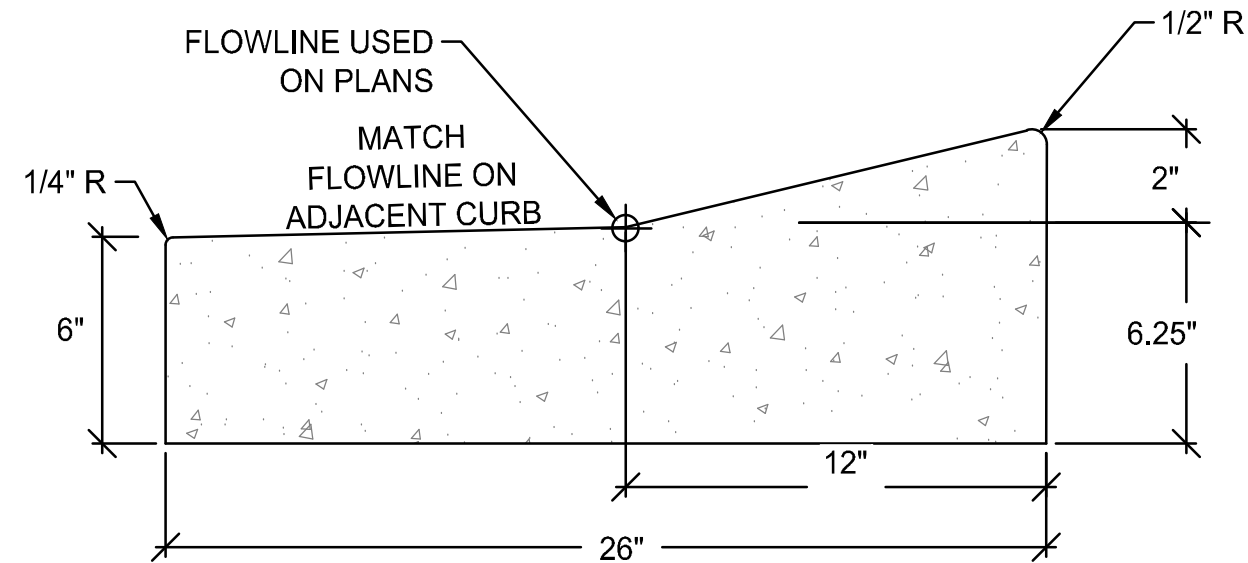


NOTES:
DERO, INC. HEAVY DUTY HOOP RACK OR APPROVED EQUAL; COLOR: POWDER COAT BLACK; IN-GROUND MOUNT.

7 BICYCLE RACK
CS501 SCALE: NO SCALE

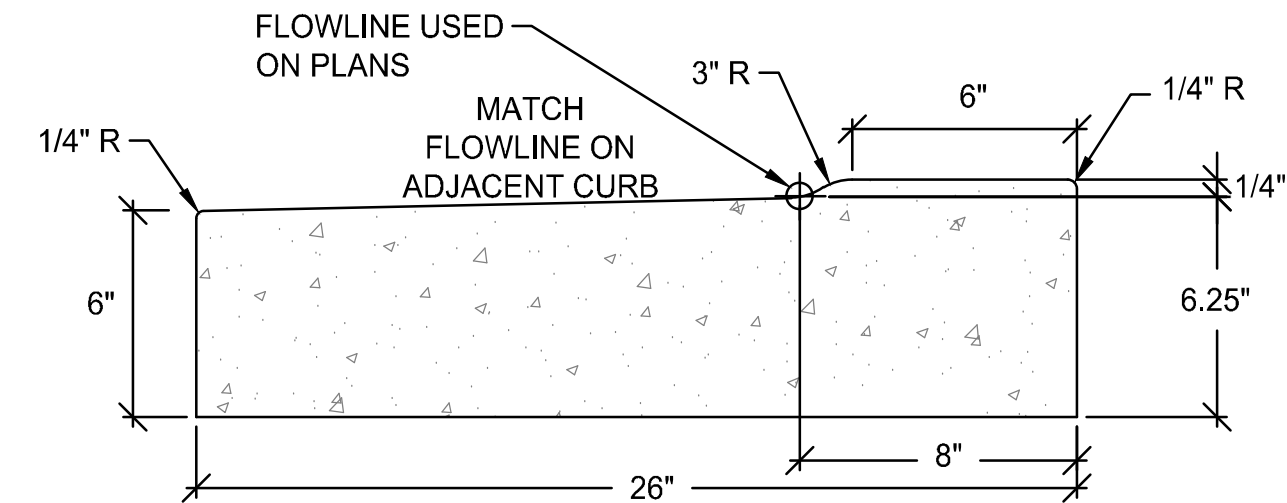


2 CONCRETE SIDEWALK
CS501 SCALE: NO SCALE



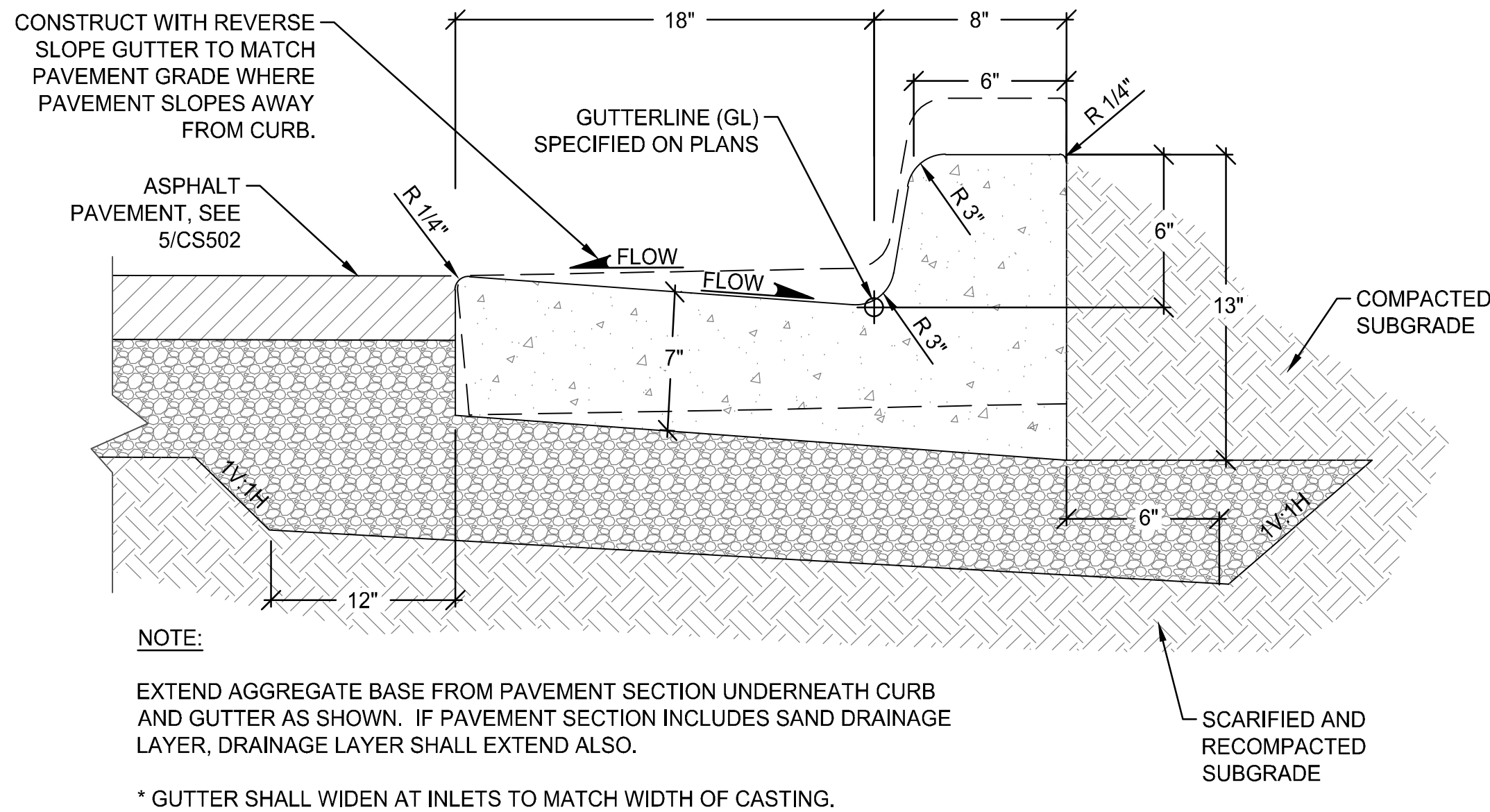
NOTE:
SEE 4/CS502 FOR DETAIL OF AGGREGATE BASE AND SUBGRADE

5 SURMOUNTABLE CURB AND GUTTER
CS501 SCALE: NO SCALE



NOTE:
SEE 4/CS502 FOR DETAIL OF AGGREGATE BASE AND SUBGRADE

6 RIBBON CURB AND GUTTER
CS501 SCALE: NO SCALE



NOTE:
EXTEND AGGREGATE BASE FROM PAVEMENT SECTION UNDERNEATH CURB AND GUTTER AS SHOWN. IF PAVEMENT SECTION INCLUDES SAND DRAINAGE LAYER, DRAINAGE LAYER SHALL EXTEND ALSO.
* GUTTER SHALL WIDEN AT INLETS TO MATCH WIDTH OF CASTING.

3 CONCRETE CURB AND GUTTER
CS502 SCALE: NO SCALE



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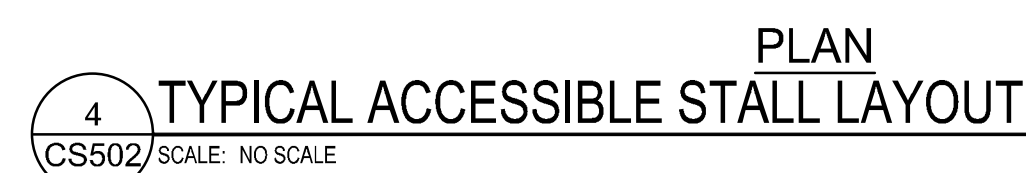
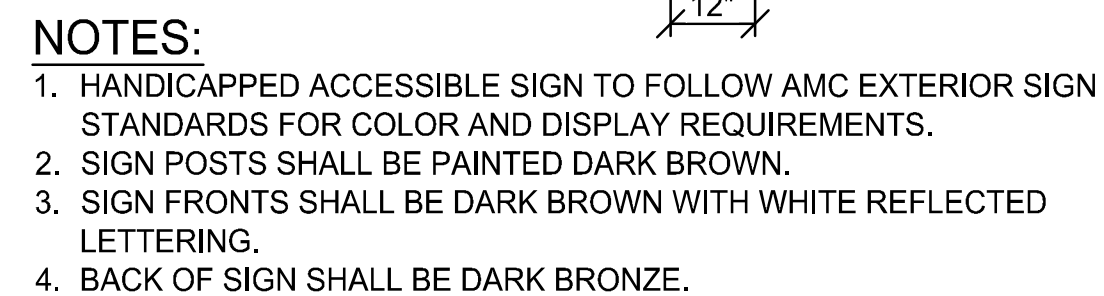
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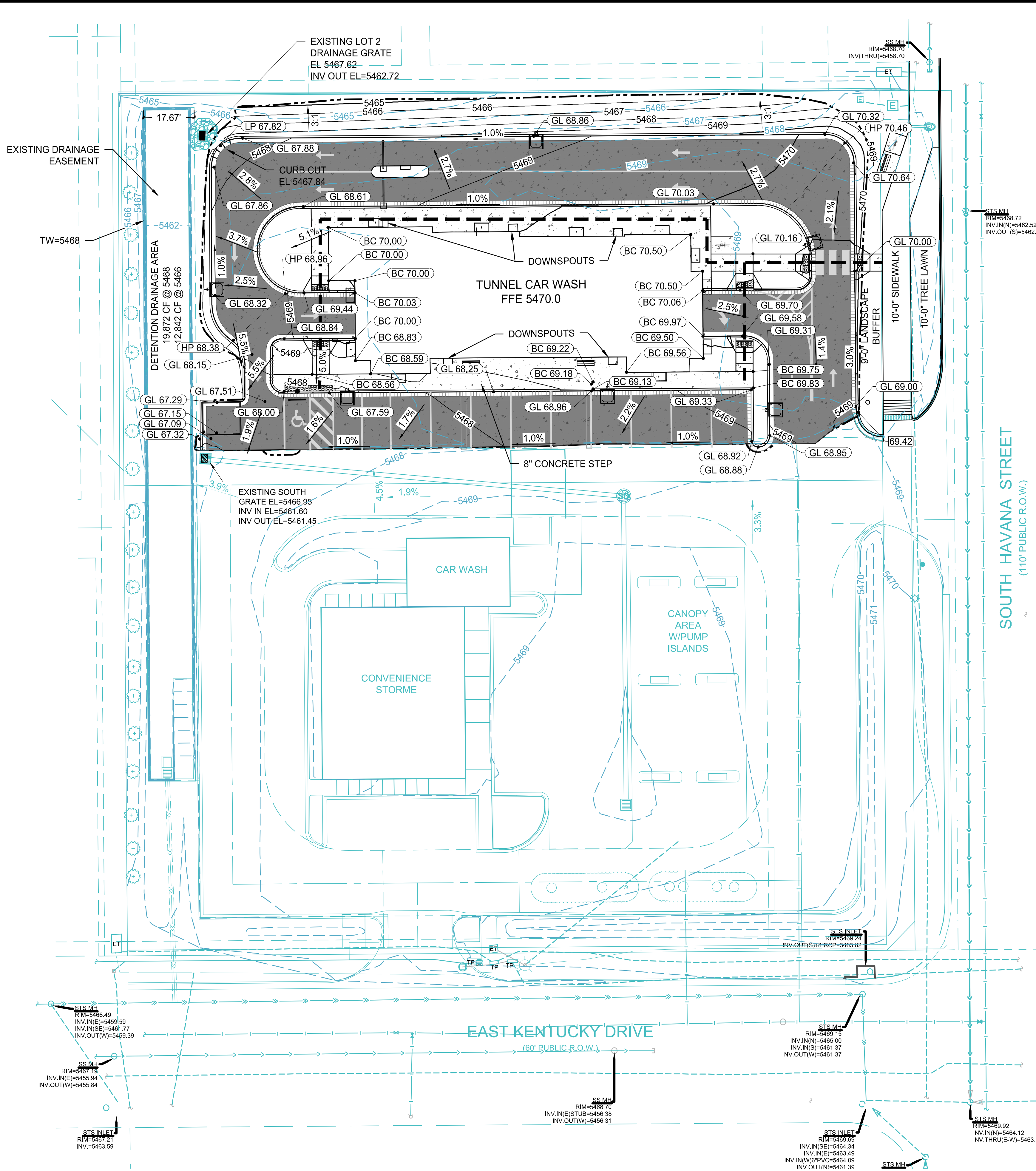
SITE DETAILS

NOT FOR CONSTRUCTION

CS501

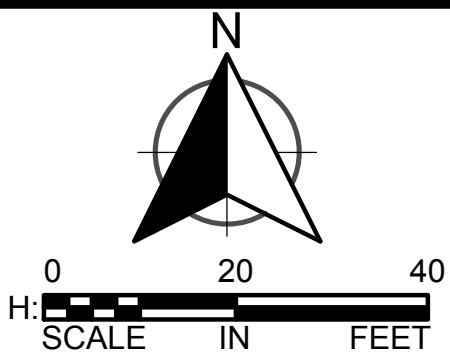


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GENERAL NOTES

1. ALL STORM SEWER WITHIN THIS SITE IS PRIVATE AND WILL BE MAINTAINED BY PROPERTY OWNER.



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- GRADING PLAN LEGEND**
- PROPERTY LINE
 - EASEMENT
 - CONSTRUCTION LIMITS
 - HIGH POINT
 - CONCRETE WALK
 - CONCRETE PAVEMENT
 - PROPOSED CONTOUR
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - EXISTING SPOT ELEVATION
- GL GUTTER LINE
BC BUILDING CORNER
HP HIGH POINT
LP LOW POINT
TOW TOP OF WALL

EARTHWORK	
RAW CUT	11 CY
RAW FILL	596 CY
NET FILL	585 CY

THIS IS AN ENGINEER'S ESTIMATE AND DOES NOT INCLUDE HOLD DOWNS OR ANY REQUIRED SOILS CORRECTIONS. CONTRACTOR RESPONSIBLE FOR VERIFYING ACTUAL REQUIRED EARTHWORK FOR SITE.

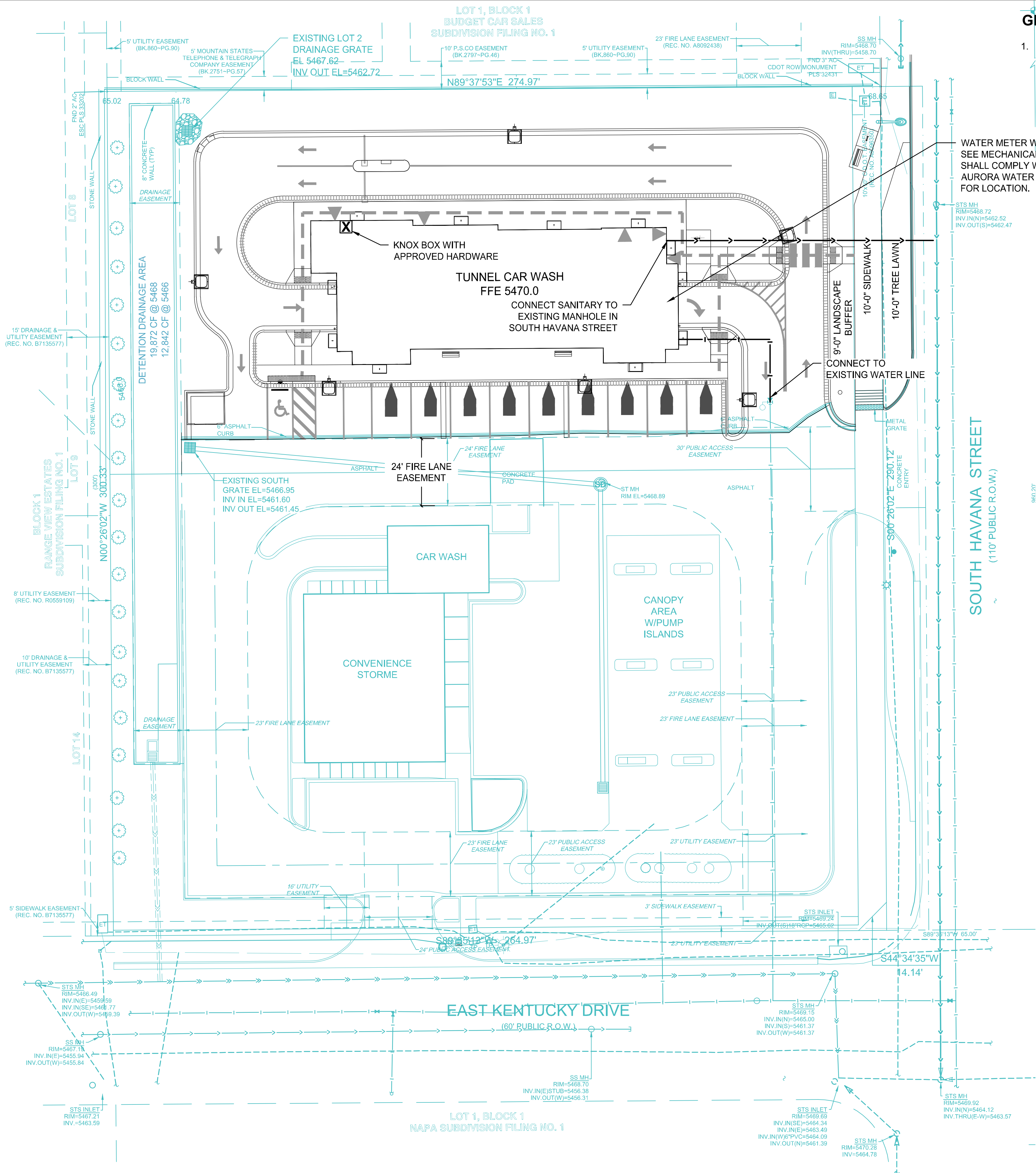
TABULATION OF PROJECT AREAS	
TOTAL PROJECT AREA (CONSTRUCTION LIMITS)	0.62 ACRES
IMPERVIOUS BEFORE DEVELOPMENT	0.00 ACRES (00%)
IMPERVIOUS AFTER DEVELOPMENT	0.30 ACRES (48%)

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GRADING PLAN

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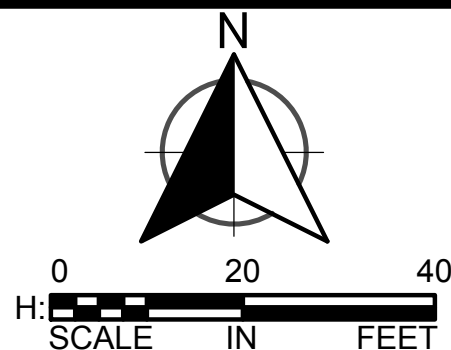
GENERAL NOTES

1. ALL STORM SEWER WITHIN THIS SITE IS PRIVATE AND WILL BE MAINTAINED BY PROPERTY OWNER.

WATER METER WITHIN BUILDING :
SEE MECHANICAL PLANS. METER
SHALL COMPLY WITH CITY OF
AURORA WATER REQUIREMENTS
FOR LOCATION.

SAN & WATER PLAN LEGEND

- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATER LINE
- EASEMENT
- PROPERTY LINE
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATER LINE
- SANITARY MANHOLE
- STORM/SANITARY CLEANOUT (SEE 3/CG502)



WSB PROJECT NO.:
012509-000

SCALE: AS SHOWN
DESIGN BY: MH
PLAN BY: CM
CHECK BY: BF

REVISIONS

NO.	DATE	DESCRIPTION

I HEREBY AFFIRM THAT THESE FINAL
CONSTRUCTION PLANS WERE PREPARED UNDER MY
DIRECT SUPERVISION, IN ACCORDANCE WITH ALL
APPLICABLE TOWN OF AURORA AND STATE OF
COLORADO STANDARDS AND STATUTES,
RESPECTIVELY, AND THAT I AM FULLY RESPONSIBLE
FOR ALL DESIGN AND REVISIONS RELATIVE TO SAID
PLANS.

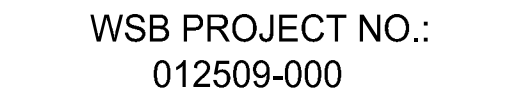
BRIAN W. FRANK

DATE: --- LIC. NO.: 53667

LIVING WATER CAR WASH
857 SOUTH HAVANA STREET
AURORA, COLORADO

UTILITY PLAN

NOT FOR CONSTRUCTION



SCALE: AS SHOWN
PLAN BY: JG

DESIGN BY: JG
CHECK BY: EK

[illegible]

I HEREBY AFFIRM THAT THESE FINAL CONSTRUCTION PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH ALL APPLICABLE TOWN OF CASTLE ROCK AND STATE OF COLORADO STANDARDS AND STATUTES, RESPECTIVELY, AND THAT I AM FULLY RESPONSIBLE FOR ALL DESIGN AND REVISIONS RELATIVE TO SAID PLANS.

EVA MARIE KELLY, PLA

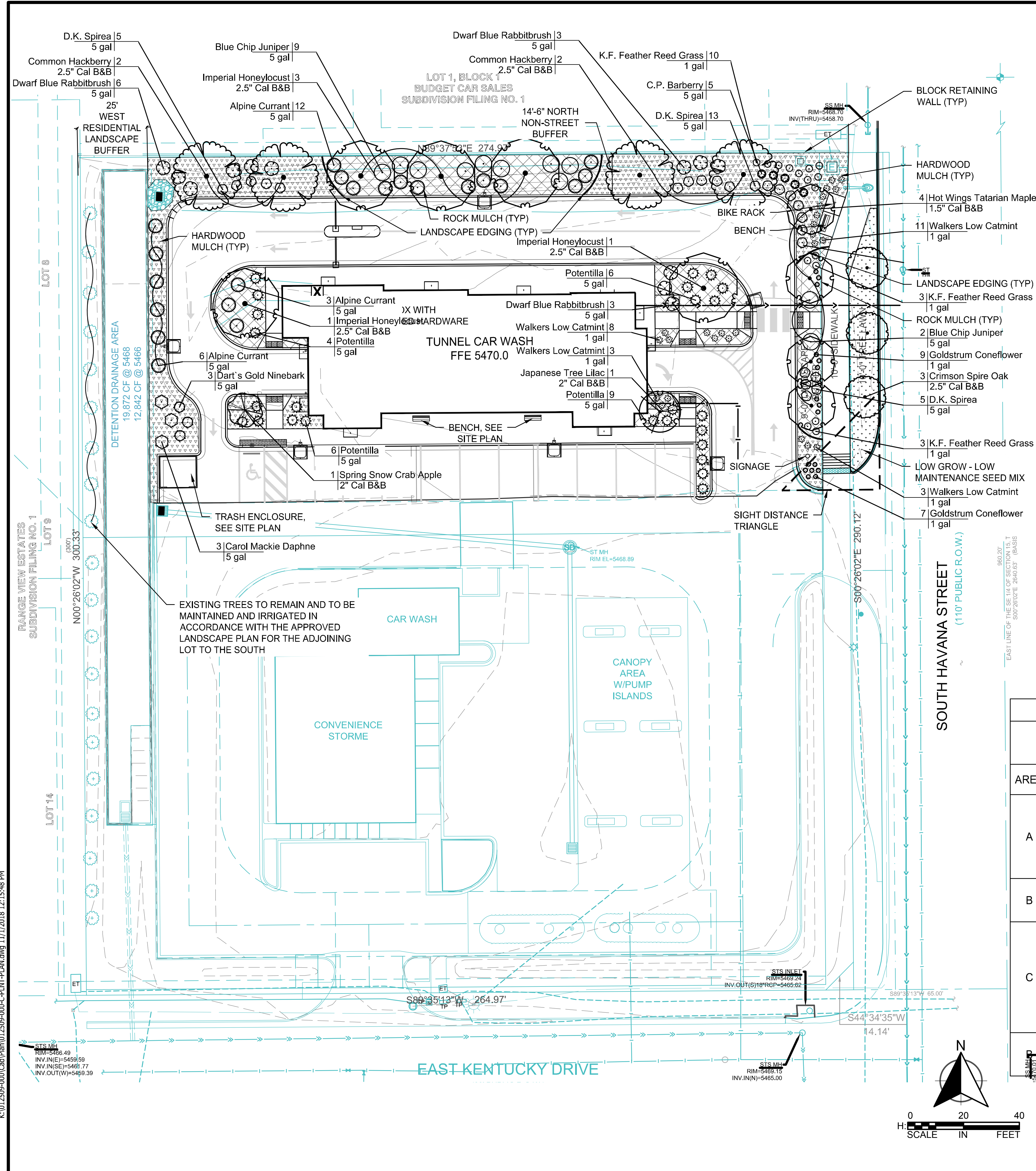
DATE: ____ LIC. NO.: LA-0001284

LIVING WATER CAR WASH




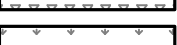




AURORA, COLORADO

LANDSCAPE PLAN

LS101




LANDSCAPE PLAN LEGEND

	PROPERTY LINE
	EASEMENT
	ROCK MULCH
	HARDWOOD MULCH
	SEED - LOW GROW-LOW
	MAINTENANCE MIX
	40% CREEPING RED FESCUE
	20% PERENNIAL RYEGRASSES
	15% HARD FESCUE
	10% CHEWINGS FESCUE
	15% BLUEGRASS
	LIGHT FIXTURE (SEE LIGHTING PLAN)
	LANDSCAPE EDGING

SITE DATA	AREA IN SF	%
TOTAL SITE AREA:	36,054	100%
BUILDING COVERAGE	5,646	16%
HARD SURFACE AREA	22,586	62%
LANDSCAPE AREA	7,822	22%

STANDARD RIGHTS-OF-WAY LANDSCAPING / HAVANA OVERLAY DISTRICT						
DESCRIPTION	PROPERTY LINE LENGTH	TREE LAWN LENGTH	CITY SECTION CODE	REQUIREMENT	TREES REQ. (1/40')	TREES PROVIDED
S HAVANA ST	136 LF	95 LF	146-889.B.1	1 STREET TREE PER 40 LF OF TREE LAWN SELECTED FROM "HAVANA STREET OVERLAY DISTRICT PLANT LIST"	3	3

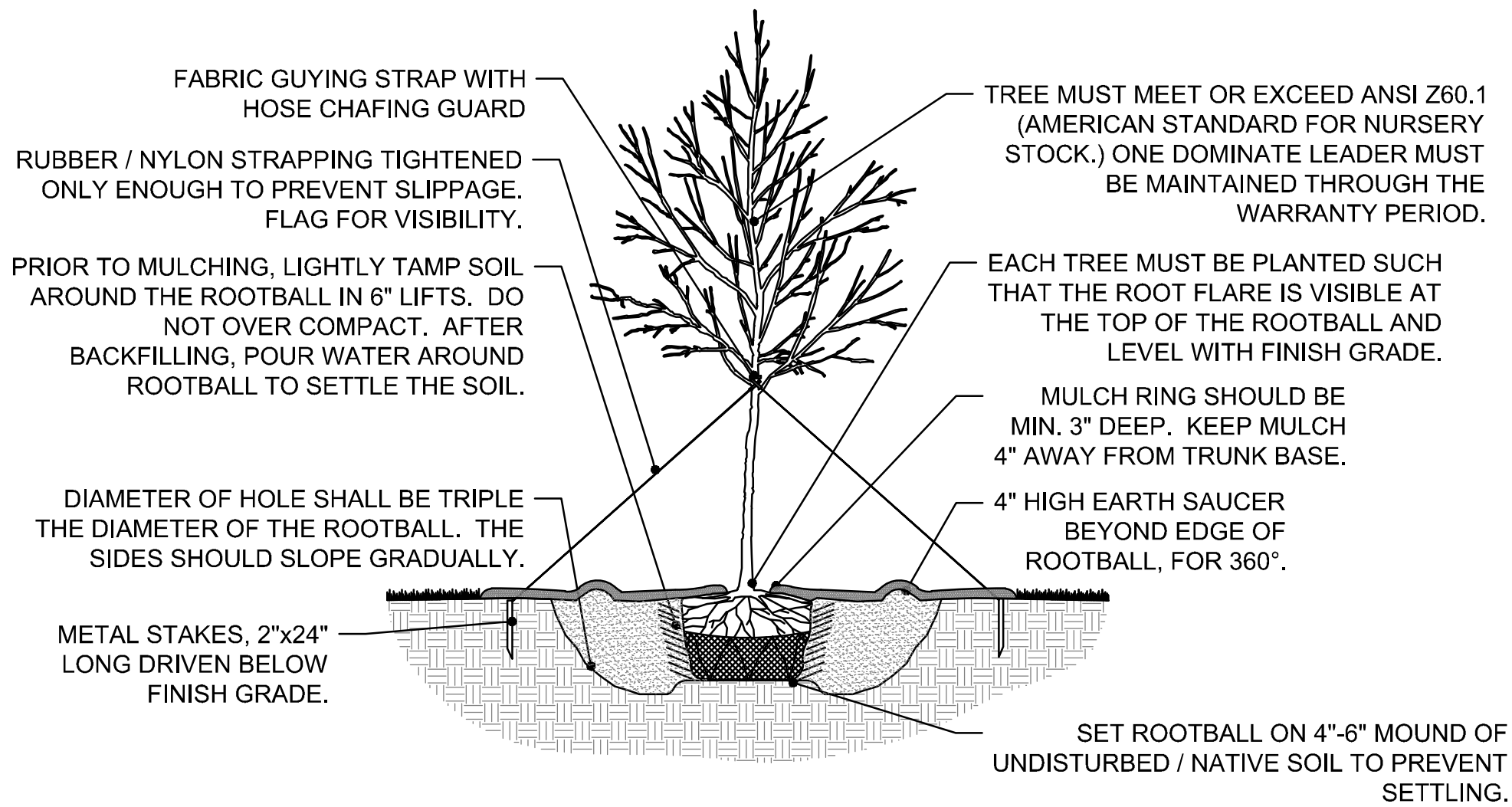
BUILDING FOUNDATION / PERIMETER LANDSCAPE TABLE - PER SECTION 146-1451				
ELEVATION (DIRECTION FACING)	ELEVATION LENGTH	TREE EQUIVALENT (1 TREE EQUIVALENT PER 40 LF)	TREE PROVIDED	SHRUBS PROVIDED (10 SHRUBS PER TREE EQUIVALENT)
EAST - ROW	48 Ft	2	2	N/A
WEST - RESIDENTIAL FACING	52	2	2	N/A

STREET PERIMETER, NON - STREET FRONTAGE BUFFERS, SPECIAL BUFFERS								
							TREES/SHRUBS REQUIRED/PROVIDED	
AREA	LOCATION	CITY CODE	NOTES	LENGTH	WIDTH REQ.	WIDTH PROVIDED	TREES	SHRUBS
A	EAST - STREET FRONTAGE	146.1422.C / 146-889.B.2	1 TREE AND 10 SHRUBS PER 40 LF - PLANT SELECTIONS FROM "HAVANA STREET OVERLAY DISTRICT PLANT LIST"	136 LF	9 FT	9 FT	4 / 4	34 / 35
B	SOUTH - NON-STREET BUFFER	146-1423.D	WAIVER REQUIRED	265 LF	N/A	N/A	N/A	N/A
C	WEST - RESIDENTIAL BUFFER	146-1451.B.3.A	1 TREE AND 5 SHRUBS PER 25 LF WITH 50% OF TREE SPECIES OF BE EVERGREEN. EXISTING 9 CONIFEROUS TREES TO REMAIN	136 LF	25 FT	31 FT	6 / 9	0 / 12
 NORTH	NORTH - NON-STREET BUFFER	146-1451.B.3.B	1 TREE AND 5 SHRUBS PER 40 LF	265 LF	10 FT	14 FT	7 / 7	34 / 40

LANDSCAPE WAIVER REQUEST FOR SOUTH PROPERTY LINE:
CITY CODE SECTION: 146-1423 LANDSCAPE SITE PERIMETER BUFFERS FOR NON-STREET FRONTAGES

NOT FOR CONSTRUCTION

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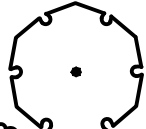


















1
LS501

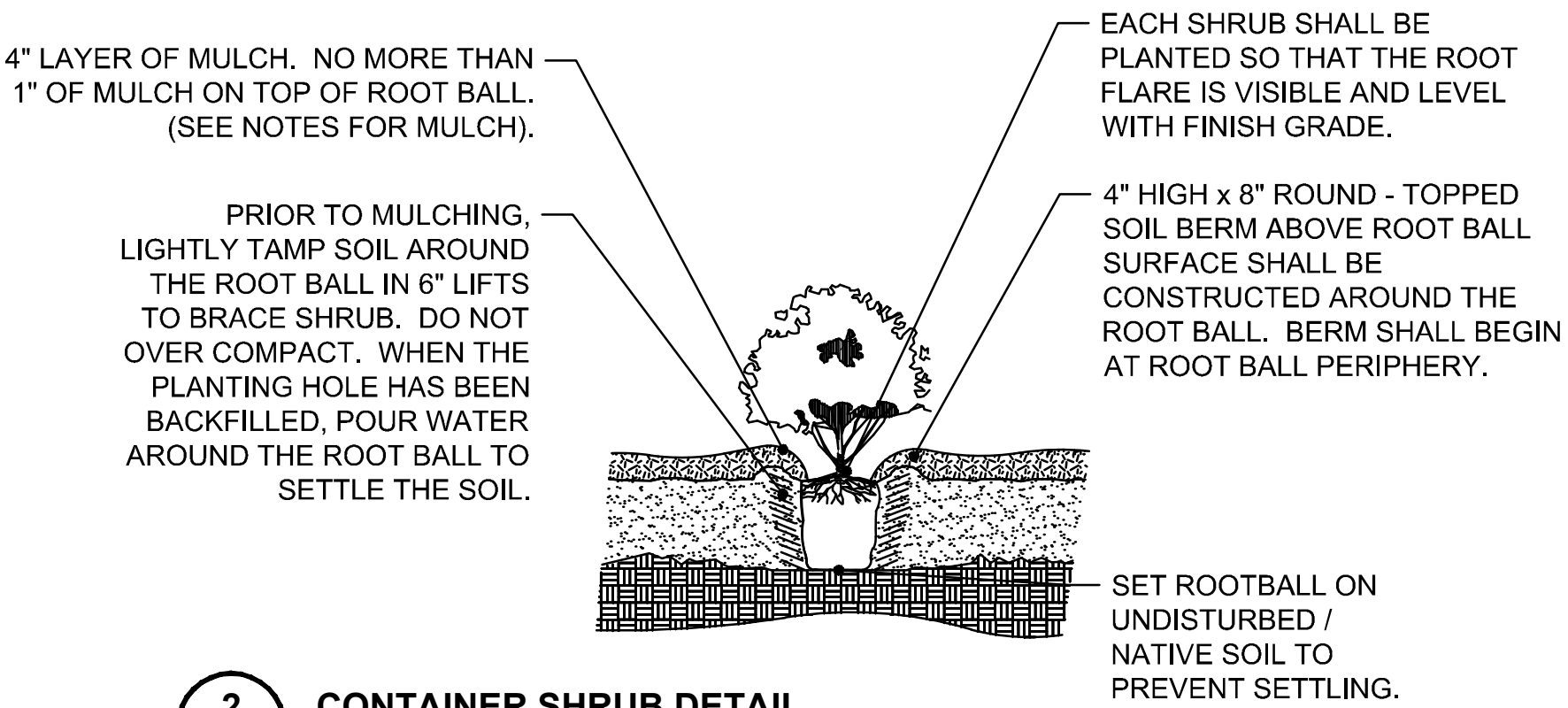
DECIDUOUS TREE PLANTING DETAIL

Scale: NTS

PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	QTY	WATER USAGE
	Acer tataricum `Hot Wings` / Hot Wings Tatarian Maple	1.5" Cal B&B	4	XX
	Celtis occidentalis / Common Hackberry	2.5" Cal B&B	4	X
	Gleditsia triacanthos `Imperial` / Imperial Honeylocust	2.5" Cal B&B	5	X
	Malus x `Spring Snow` / Spring Snow Crab Apple	2" Cal B&B	1	XX
	Quercus robur x alba `Crimson Spire` / Crimson Spire Oak	2.5" Cal B&B	3	XX
	Syringa reticulata / Japanese Tree Lilac	2" Cal B&B	1	XX
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	QTY	
	Berberis thunbergii `Crimson Pygmy` / C.P. Barberry	5 gal	5	X
	Caryopteris x clandonensis `Dark Knight` / D.K. Spirea	5 gal	23	XXX
	Chrysothamnus nauseosus nauseosus / Dwarf Blue Rabbitbrush	5 gal	12	XXX
	Daphne x burkwoodii `Carol Mackie` / Carol Mackie Daphne	5 gal	3	XXX
	Juniperus horizontalis `Blue Chip` / Blue Chip Juniper	5 gal	11	XX
	Physocarpus opulifolius `Dart`s Gold` / Dart`s Gold Ninebark	5 gal	3	XX
	Potentilla fruticosa / Potentilla	5 gal	25	XX
	Ribes alpinum / Alpine Currant	5 gal	21	XX
PERENNIALS	BOTANICAL NAME / COMMON NAME	SIZE	QTY	
	Calamagrostis x acutiflora `Karl Foerster` / K.F. Feather Reed Grass	1 gal	16	X
	Nepeta x faassenii `Walkers Low` / Walkers Low Catmint	1 gal	25	XX
	Rudbeckia fulgida `Goldstrum` / Goldstrum Coneflower	1 gal	16	XX

X-RATED = PLANTS NEED 1" OF WATER PER WEEK
XX-RATED = PLANTS NEED 1/2" OF WATER PER WEEK
XXX-RATED = PLANTS NEED 1/2" OF WATER EVERY TWO WEEKS



2
LS501

CONTAINER SHRUB DETAIL

Scale: NTS

CITY OF AURORA STANDARD LANDSCAPE NOTES

1. ALL UTILITY EASEMENT SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT ENTRY
2. THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED SITE PLAN OR LANDSCAPE PLAN ON FILE IN THE PLANNING DEPARTMENT. ALL LANDSCAPING WILL BE INSTALLED AS DELINEATED ON THE PLAN, PRIOR TO ISSUANCE OF CERTIFICATES OF OCCUPANCY.
3. ALL LANDSCAPED AREAS AND PLANT MATERIAL, EXCEPT FOR NON-IRRIGATED NATIVE, RESTORATIVE, AND DRYLAND GRASS AREAS THAT COMPLY WITH REQUIREMENTS FOUND IN SEC. 146-1429 AND/OR SEC. 146-1435 MUST BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION, AND MAINTENANCE SHALL CONFORM TO REQUIREMENTS FOUND IN THE CITY OF AURORA IRRIGATION ORDINANCE.

ADDITIONAL LANDSCAPE NOTES

1. 'ALL PROPOSED LANDSCAPING WITHIN THE SIGHT TRIANGLE SHALL BE IN COMPLIANCE WITH COA ROADWAY SPECIFICATIONS, SECTION 4.04.2.10'.
2. LANDSCAPE EDGING: LANDSCAPE EDGING TO BE STANDARD BLACK POLYETHYLENE VINYL LANDSCAPE EDGING, COMMERCIAL GRADE, V-LIPPED AND EXTRUDED IN STANDARD LENGTHS. INSTALL EDGING PER MANUFACTURER'S WRITTEN INSTRUCTION AND ACCESSORY MATERIALS. ANCHOR WITH 9" DEPTH STEEL STAKES SPACED APPROXIMATELY A MAXIMUM OF 36" APART, DRIVEN THROUGH V-LIP OF EDGING.
3. HARDWOOD MULCH: MULCH TO BE DOUBLE SHREDDED HARDWOOD MULCH, NATURAL COLOR. FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. MULCH SHALL BE PLACED AROUND INDIVIDUAL TREES TO A FOUR-FOOT (4') DIAMETER, 6" DEEP (FOR TREES NOT LOCATED IN PLANTING BEDS). FOR PLANTING BEDS, MULCH SHOULD EXTEND OUT AS FAR OUT AS THE EDGE OF THE PLANTING BED OR EDGER, AS INDICATED ON THE LANDSCAPE PLAN, TO A DEPTH OF 4". KEEP AWAY FROM DIRECT CONTACT WITH THE STEM OR TRUNK OF ALL PLANT MATERIALS. MULCH SHALL BE INSTALLED WITHIN FORTY-EIGHT (48) HOURS OF PLANT INSTALLATION. REFER TO MULCH LOCATIONS AS INDICATED ON THE LANDSCAPE PLAN.
4. ROCK MULCH: ROCK MULCH TO BE 1 ½" RIVER ROCK, PLACE ROCK MULCH TO A DEPTH OF 4" IN PLANTING BEDS AS INDICATED ON THE LANDSCAPE PLAN.
5. ALL PLANT MATERIALS SHALL BE TRUE TO THEIR SCIENTIFIC NAME AND SIZE AS INDICATED IN THE PLANT SCHEDULE.



WSB PROJECT NO.:
012509-000

SCALE: AS SHOWN
DESIGN BY: JG
PLAN BY: JG
CHECK BY: EK

REVISONS	NO.	DATE	DESCRIPTION

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EVA MARIE KELLY, PLA
DATE: _____
LIC. NO.: LA.0001284

LIVING WATER CAR WASH

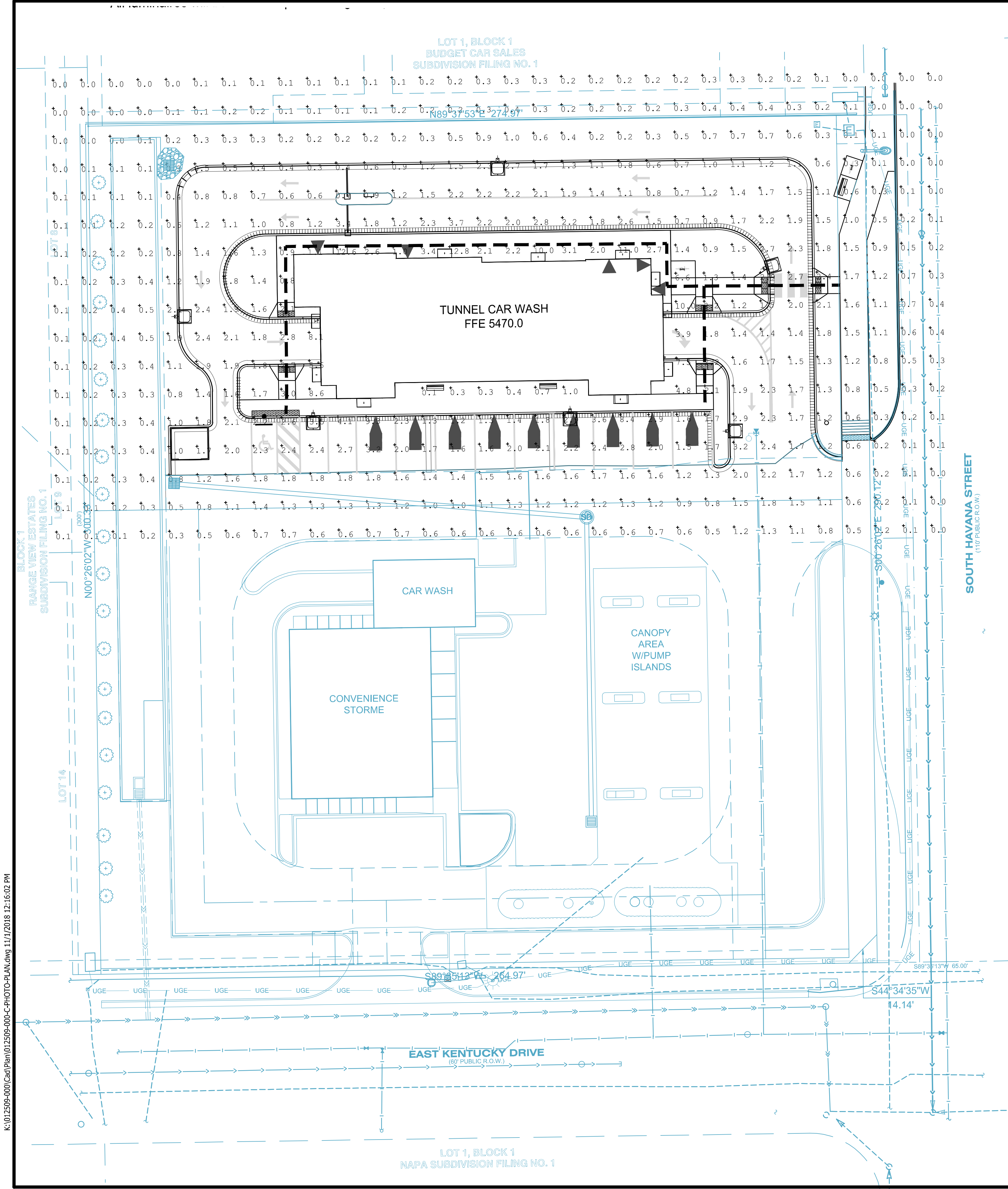
AURORA, COLORADO

LANDSCAPE
DETAILS

NOT FOR CONSTRUCTION



LS501

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GENERAL NOTE:

ILLUMINATION WITHIN THE SITE MUST COMPLY WITH THE 2015 INTERNATIONAL BUILDING CODE REQUIREMENT FROM SECTION 1006 - MEANS OF EGRESS ILLUMINATION. SECTION 1006. ILLUMINATION REQUIRED: THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING IS OCCUPIED. SECTION 1006.2 ILLUMINATION LEVEL. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE (11 LUX) AT THE FLOOR LEVEL, AND CONTINUING TO THE "PUBLIC WAY".

Luminaire Schedule						
Symbol	Qty	Label	Description	MH	Lumens	LLF
	12	Wall Mount	WST LED P1 30K VF HVOLT	8' -8"	1,500	1.000
	6	20' Pole Mount	DSX1 LED P2 30K T3M MVOLT	20' -0"	8,260	1.000

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
1 - Area	Illuminance	Fc	1.20	12.8	0.0	N.A.

NOTES

- All luminaires will be full-cut-off.
- All luminaires will be mounted parallel to grade (no tilt).



WSB PROJECT NO.:
012509-000

SCALE: AS SHOWN
DESIGN BY: ES
PLAN BY: BWF
CHECK BY: ES

REVISIONS	
NO.	DESCRIPTION

LIVING WATER CAR WASH
AURORA, COLORADO
857 SOUTH HAVANA STREET

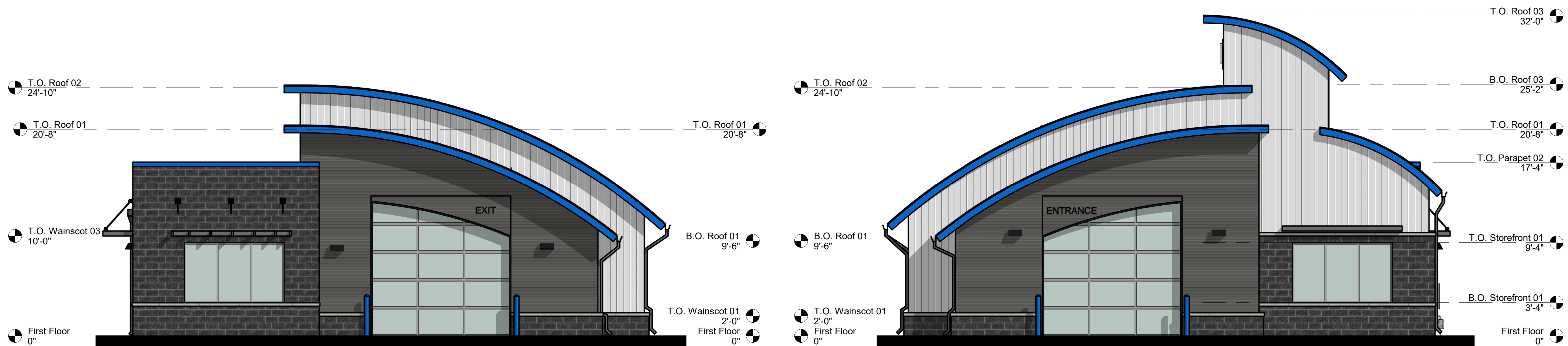
PHOTOMETRIC
PLAN

A+ Capable options indicated by this color background.

Ordering Information						EXAMPLE: WST LED P1 40K VF MVOLT DDBTXD					
WST LED											
Series	Performance Package	Color temperature	Distribution	Voltage	Mounting						
WST LED	P1 1,500 Lumen package	27K 2700 K	VF Visual comfort forward throw	MVOLT ¹	27V ²	Shipped included (blank) Surface-mounted bracket					
	P2 3,000 Lumen package	30K 3000 K	VW Visual comfort wide	120 ²	347 ¹	Shipped separately					
	P3 6,000 Lumen package	40K 4000 K		208 ²	480 ¹	BBW Surface-mounted back box ¹⁴					
		50K 5000 K		240 ²		PBBW Premium surface-mounted back box ¹⁴					
Options						Finish (required)					
PE	Photoelectric cell, button type ³		E7WC	Emergency battery backup, Non CEC compliant (cold, 7W) ¹⁰		DOBKO	Dark bronze				
PER	NEMA twist-lock receptacle only (controls ordered separate) ⁴		E7WHR	Remote emergency battery backup, Non CEC compliant (remote 7W) ^{10,11}		DBLKO	Black				
PER5	Five-wire receptacle only (controls ordered separate) ⁴					DNAXO	Natural aluminum				
PER7	Seven-wire receptacle only (controls ordered separate) ⁴		E20WH	Emergency battery pack 18W constant power, CEC compliant ¹²		DWHKO	White				
PIR	Motion/Ambient Light Sensor, 8-15' mounting height ¹³		E20WC	Emergency battery pack 18W constant power, CEC compliant ¹²		DSXKO	Sandstone				
PIR1FCV	Motion/Ambient sensor, 8-15' mounting height, ambient sensor enabled at 16" ^{13,14}		E20WC	Emergency battery pack 18W constant power, CEC compliant ¹²		DOBTKO	Textured dark bronze				
PIR1H	180° motion/ambient light sensor, 15-30' mounting height ¹³		E23WHR	Remote emergency battery backup, Non CEC compliant (remote 20W) ^{11,15}		DBLTKO	Textured black bronze				
PIR1HFCV	Motion/Ambient sensor, 15-30' mounting height, ambient sensor enabled at 16" ^{13,14}					DNATKO	Textured natural aluminum				
SF	Single fuse (120, 277, 347V) ¹		LCE	Left side conduit entry ⁴		DWHGKO	Textured white				
DF	Double fuse (208, 240, 480V) ¹		RCE	Right side conduit entry ⁴		DSSTKO	Textured sandstone				
DS	Dual switching ¹										
E7WH	Emergency battery backup, Non CEC compliant (7W) ¹⁰										
Shipped separately											
BBPW	Retrofit back plate ⁴		YG	Vandal guard ¹⁵							
WG	Wire guard ¹¹										



1 South Elevation-Color
SK-1 3/16" = 1'-0"



2 West Elevation-Color
SK-1 3/16" = 1'-0"

3 East Elevation-Color
SK-1 3/16" = 1'-0"



4 North Elevation-Color
SK-1 3/16" = 1'-0"

DATE: 11/1/18
SCALE: 3/16" = 1'-0"
DRAWN BY: PEW
CHECKED BY: JTK

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ARCHITECTURE
8089 SOUTH LINCOLN STREET, SUITE 201
LITTLETON, CO 80120
(720) 773-2800

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PROJECT NUMBER
8102.24

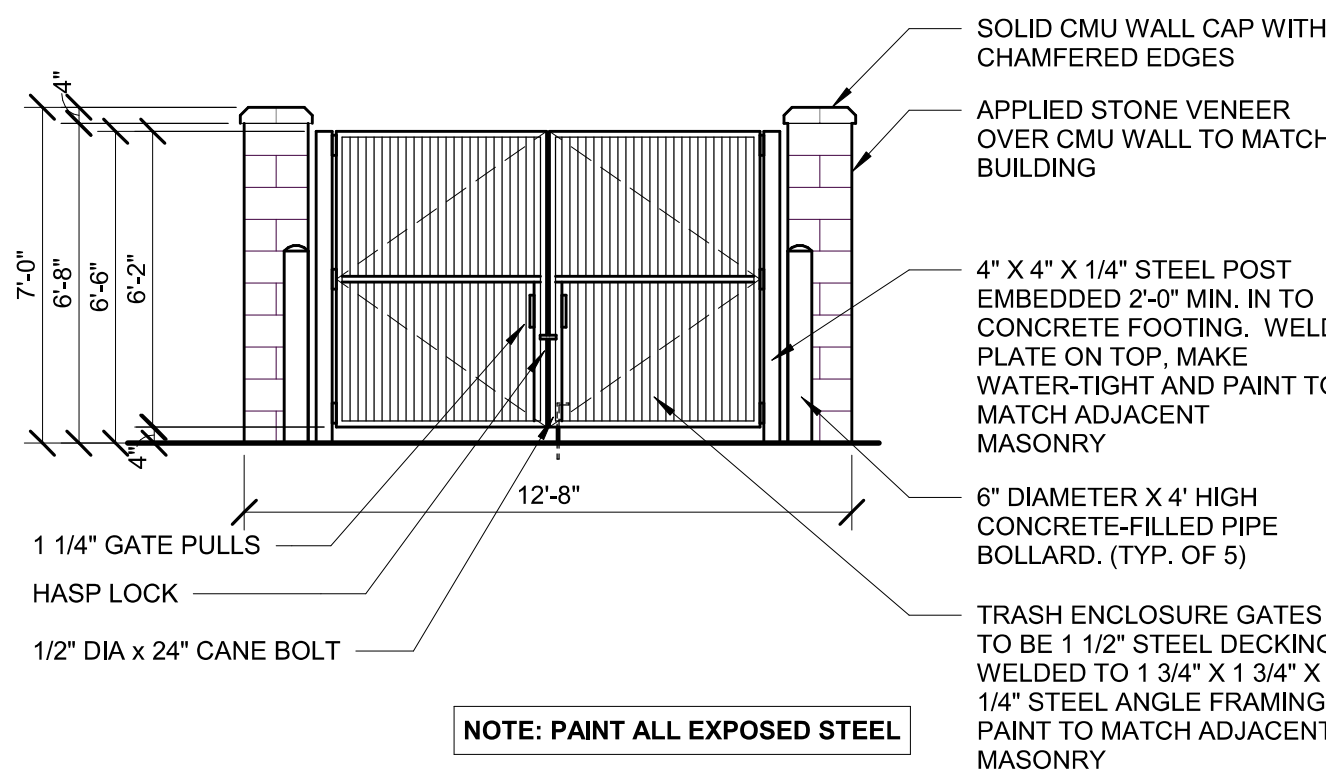
SHEET

SK-1

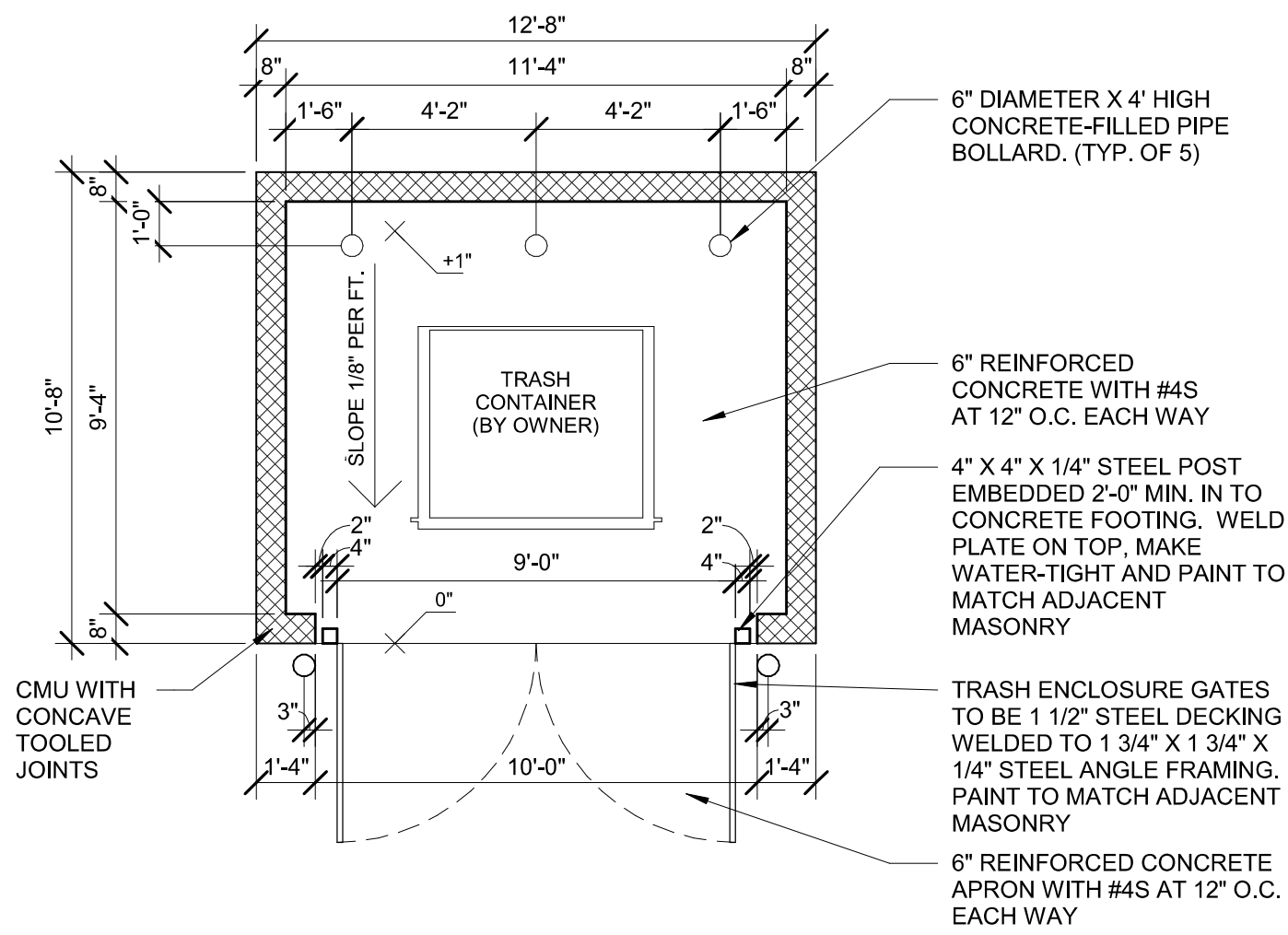
Exterior Elevations
- Color



7
SK-2 Perspective Trash Enclosure

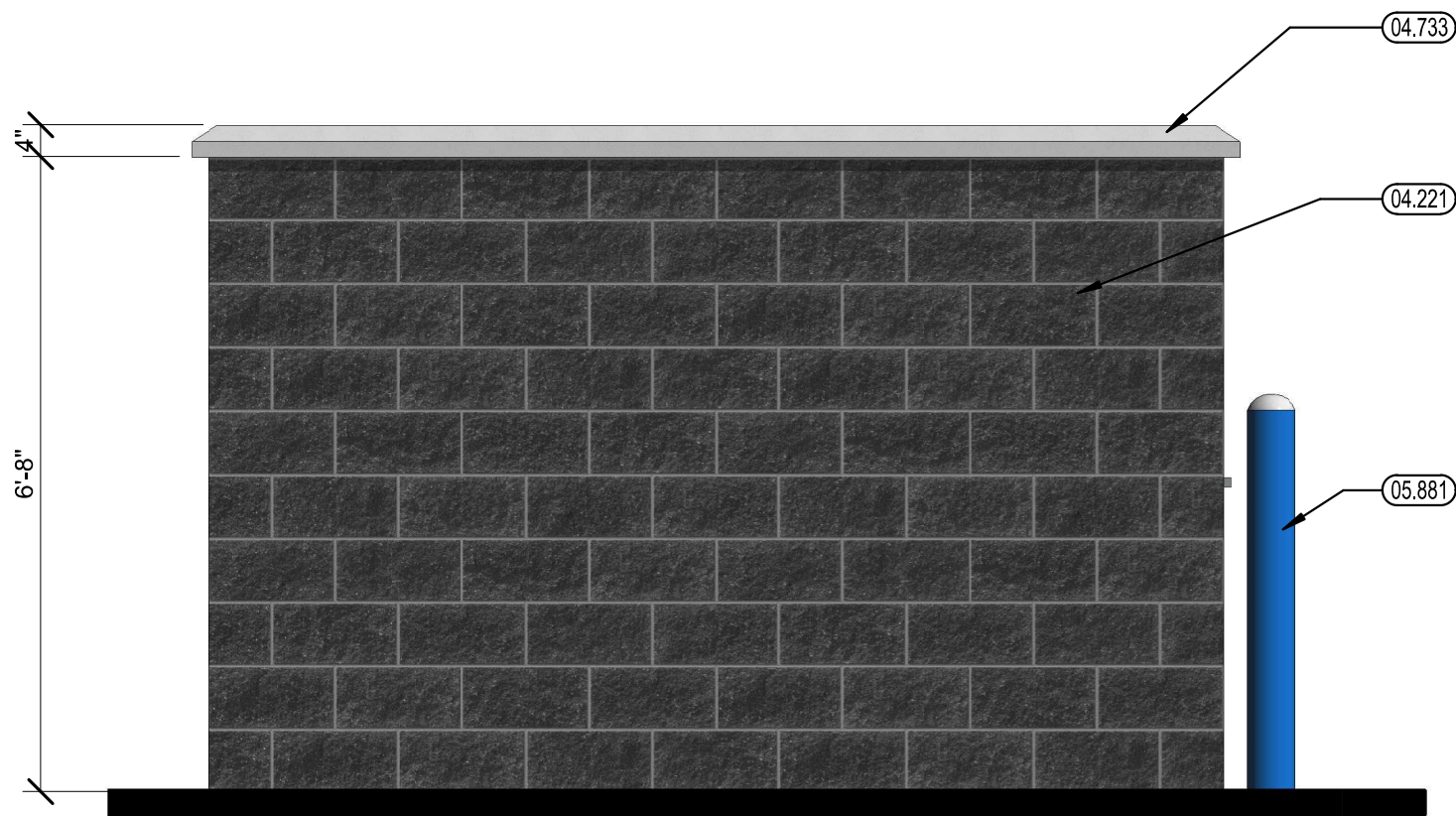


6
SK-2 DTL-Trash Enclosure Elevation
1/4" = 1'-0"

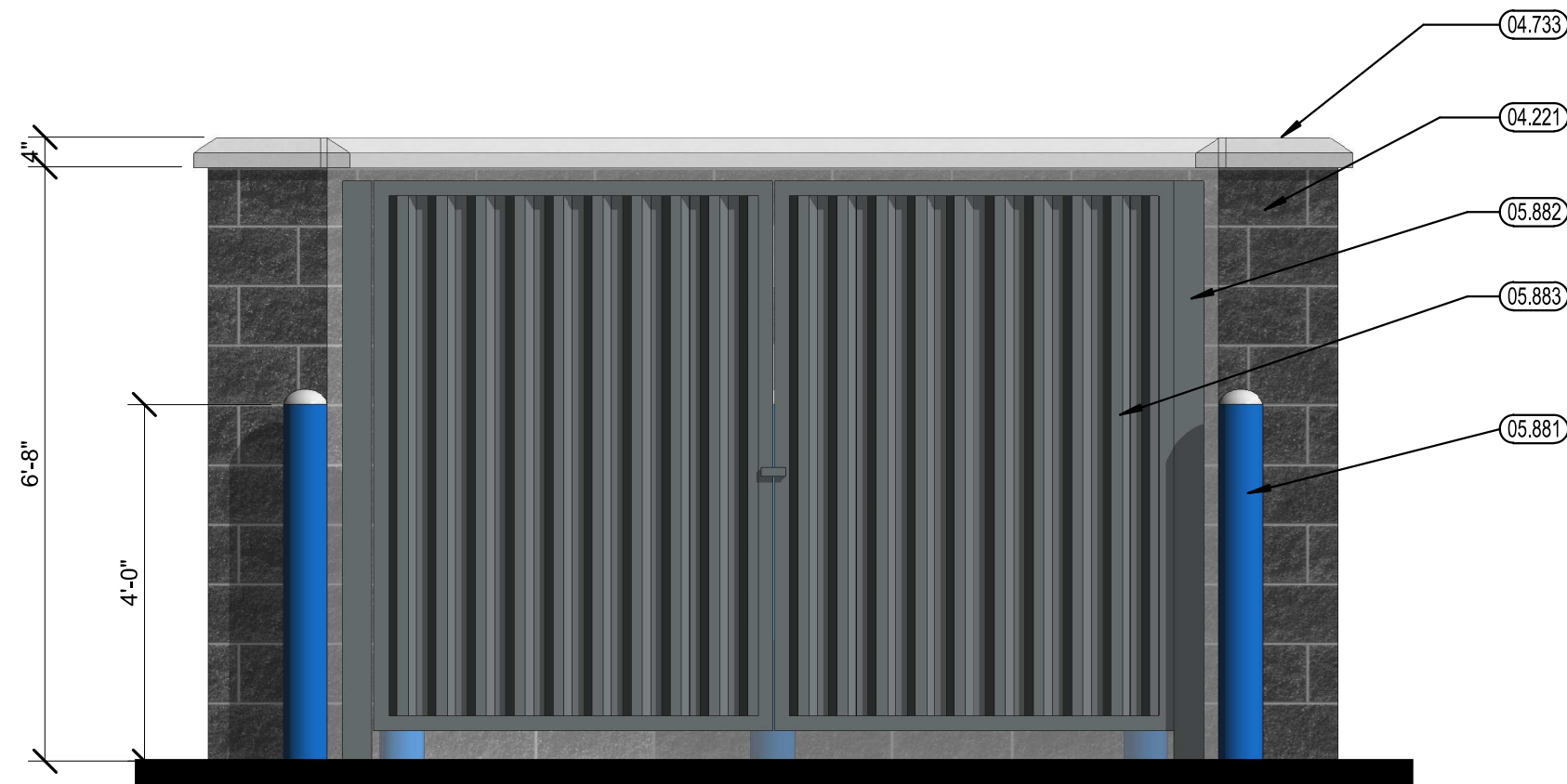


1
SK-2 DTL-Trash Enclosure Plan
1/4" = 1'-0"

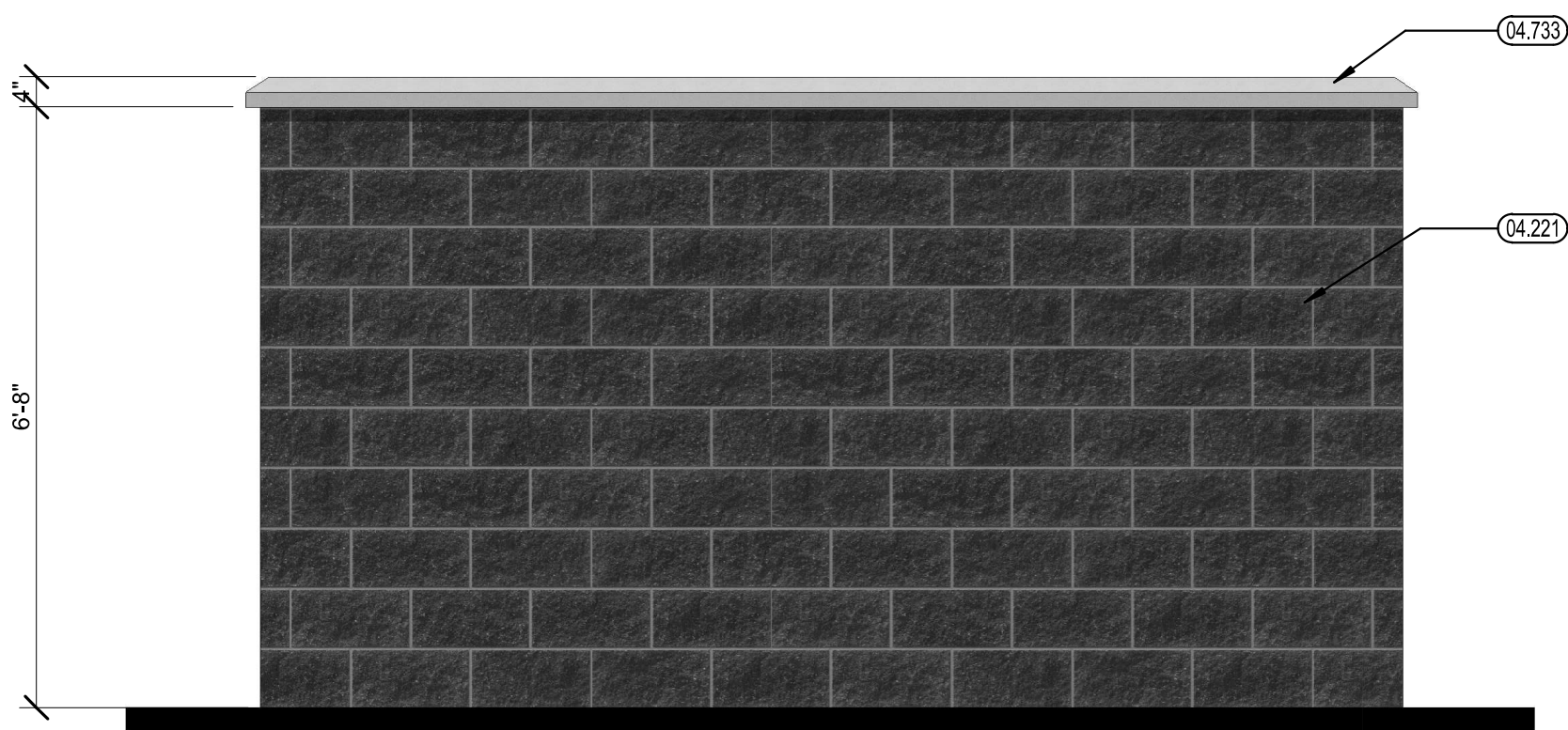
KEYNOTES	
Key Value	Keynote Text
04.221	8" NOMINAL SPLIT-FACED CMU; CMU-1, RE: STRUCTURAL.
04.733	PRE-CAST STONE CAP, BASIC CONCRETE GREY
05.881	6" DIA, 48" TALL CONCRETE FILLED PIPE BOLLARD. PAINT TO MATCH PT-1
05.882	4" SQ GATE POST, PAINT TO MATCH PT-2
05.883	SWING GATE, 2X2 ANGLE FRAME WITH METAL DECK INFILL, PAINT TO MATCH PT-2



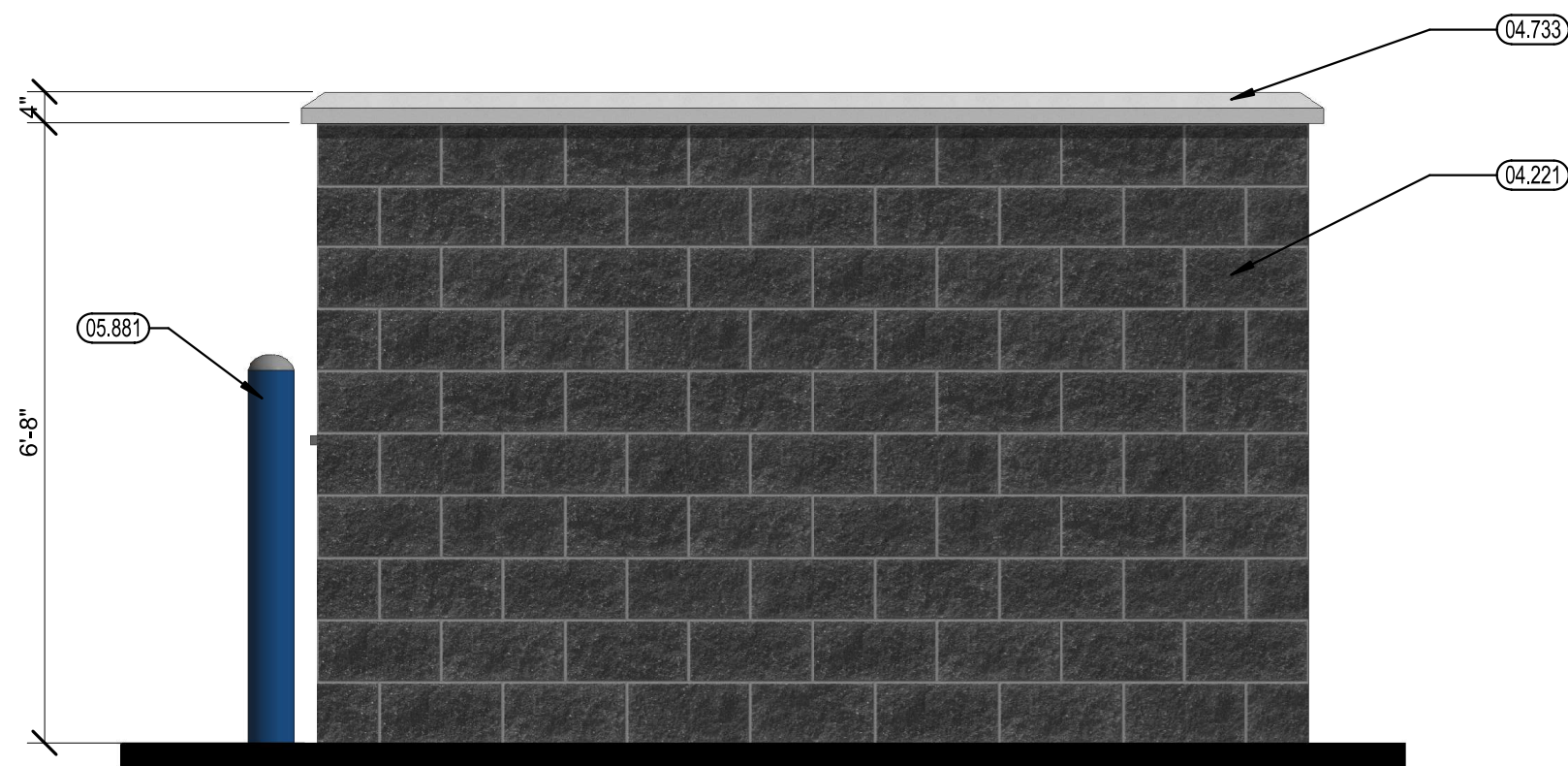
4
SK-2 Trash Enclosure Side Elevation
1/2" = 1'-0"



2
SK-2 Trash Enclosure Front Elevation
1/2" = 1'-0"



5
SK-2 Trash Enclosure Rear Elevation
1/2" = 1'-0"



3
SK-2 Trash Enclosure Side Elevation
1/2" = 1'-0"

DATE: 11/1/18
SCALE: As indicated
DRAWN BY: PEW
CHECKED BY: JTK

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8089 SOUTH LINCOLN STREET, SUITE 201
LITTLETON, CO 80120
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PROJECT NUMBER
8102.24

SHEET

SK-2

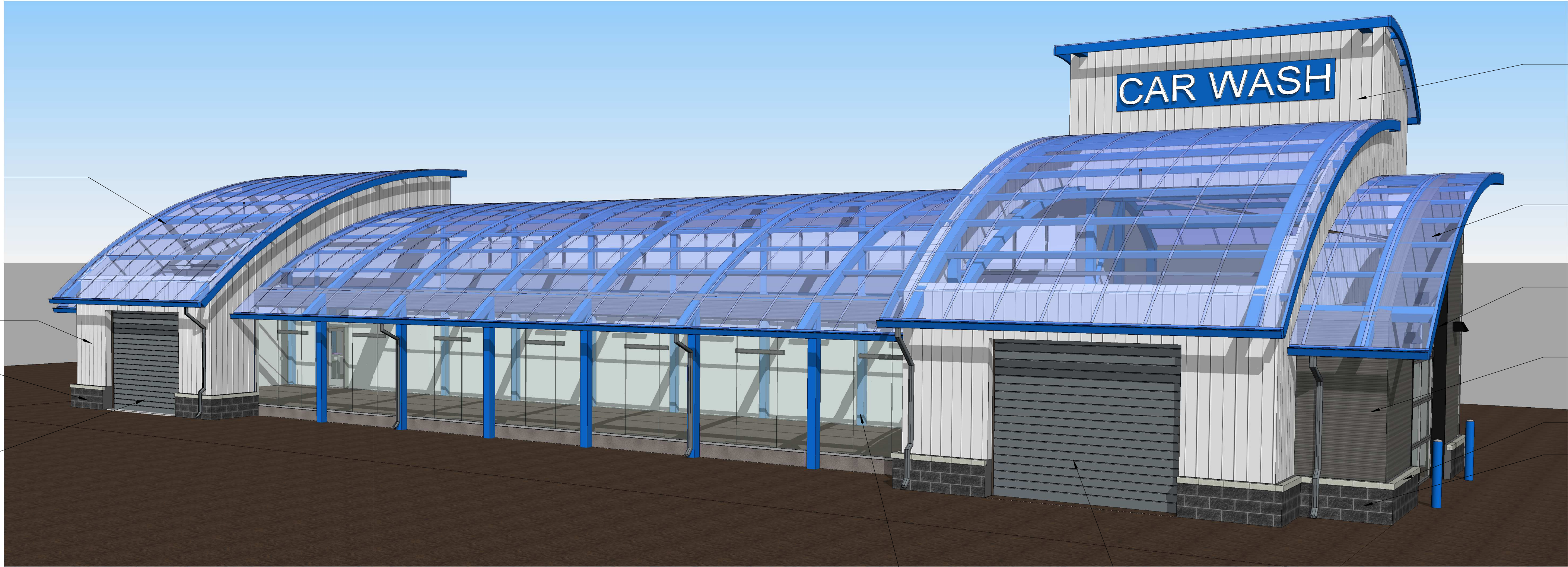
Trash Enclosure

POLYCARBONATE ROOF, R-1

VERTICAL METAL PANEL, MP-2

SPLIT FACED BLOCK, CMU-1

DOORS AND DOWNSPOUTS, PT-2



Perspective 1

BUTT GLAZED WINDOWS

PAINTED DOORS, PT-2

VERTICAL METAL PANEL, MP-2

POLYCARBONATE ROOF, R-1

STEEL STRUCTURE AND TRIM, PT-1

HORIZONTAL METAL PANEL, MP-1

4" ACCENT BLOCK, 1/2" OFFSET OUT, CMU-2

SPLIT FACED BLOCK, CMU-1

R-1



POLYGAL POLYCARBONATE
POLYGAL BLUE

PT-1



RAL 5017
TRAFFIC BLUE

PT-2



SHERWIN WILLIAMS
SW 7075, WEB GREY

MP-1



CMG, ULTRA RIB,
WEATHERED ZINC

MP-2



METAL SALES TLC-2
METALLIC SILVER

CMU-1



BEST BLOCK
CHARCOAL GREY

CMU-2



BEST BLOCK
CHARCOAL GREY

POLYCARBONATE ROOF, R-1

VERTICAL METAL PANEL, MP-2

HORIZONTAL METAL PANEL, MP-1

SPLIT FACED BLOCK, CMU-1



Perspective 2

ALUMINUM STOREFRONT, CLEAR ANODIZED

VERTICAL METAL PANEL, MP-2

STEEL STRUCTURE AND TRIM, PT-1

AWNINGS, PT-2

KNOX BOX, COORDINATE TYPE AND
LOCATION WITH FIRE DEPT

4" ACCENT BLOCK OFFSET OUT 1/2"
CMU-2

SPLIT FACED BLOCK, CMU-1

DATE: 11/1/18

SCALE:

DRAWN BY: PEW

CHECKED BY: JTK

H O V E R
ARCHITECTURE

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LITTLETON, CO 80120
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PROJECT NUMBER

8102.24

SHEET

SK-3

Rendering