

SITE DEVELOPMENT PLAN FOR LIVING WATER EXPRESS CAR WASH WITH WAIVERS



WSB PROJECT NO.: 012509-000

SCALE: AS SHOWN
 DESIGN BY: MH
 PLAN BY: CM
 CHECK BY: BF



1 PROJECT LOCATION MAP
 CJ101 SCALE: NOT TO SCALE

OWNER: MITRAH INVESTMENTS AND HOLDINGS, LLC
 17050 E MAINSTREET
 AURORA, CO 80134
 (303) 949-4831

ENGINEER / PLANNER / LANDSCAPE ARCHITECT: WSB & ASSOCIATES INC.
 720 SOUTH COLORADO BLVD
 DENVER, COLORADO 80246

ARCHITECT: HOVER ARCHITECTURE
 8089 SOUTH LINCOLN STREET
 SUITE 201
 LITTLETON, COLORADO 80122

LANDSCAPE WAIVER REQUEST FOR SOUTH PROPERTY LINE:
 CITY CODE SECTION: 146-1423 LANDSCAPE SITE PERIMETER BUFFERS FOR NON-STREET FRONTAGES

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF PRIVATE UTILITIES HAS BEEN DESIGNATED UTILITY QUALITY LEVEL D. THESE QUALITY LEVELS WERE DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE DATA". THE CONTRACTOR IS TO DETERMINE THE TYPE AND LOCATION OF PRIVATE UTILITIES AS MAY BE DEEMED NECESSARY TO AVOID DAMAGE THERETO.

AMENDMENTS

Sheet List Table	
SHEET NUMBER	SHEET TITLE
CJ101	COVER SHEET
CJ102	GENERAL NOTES
CS101	SITE PLAN
CS501	SITE DETAILS
CS502	SITE DETAILS
CG101	GRADING PLAN
CU101	UTILITY PLAN
LS101	LANDSCAPE PLAN
LS501	LANDSCAPE DETAILS
CL101	PHOTOMETRIC PLAN
CL501	PHOTOMETRIC CUT SHEETS
Sk-1	EXTERIOR ELEVATIONS
Sk-2	TRASH ENCLOSURE
Sk-3	RENDERING

SIGNATURE BLOCK:

LIVING WATER EXPRESS CAR WASH
 (OFFICIAL PROJECT NAME)

LEGAL DESCRIPTION: LOT 2, BLOCK 1, MITRAH SUBDIVISION FILING NO. 1, A RESUBDIVISION OF A PART OF TRACT 3, RANGE VIEW SITUATED IN THE SOUTHEAST 1/4 OF SECTION 15, TOWNSHIP 4 SOUTH, RANGE 67 WEST, OF THE 6TH P.M. CITY OF AURORA, COUNTY OF ARAPAHOE, STATE OF COLORADO

THIS SITE PLAN AND ANY AMENDMENTS HERETO, UPON APPROVAL BY THE CITY OF AURORA AND RECORDING, SHALL BE BINDING UPON THE APPLICANTS THEREFORE, THEIR SUCCESSORS AND ASSIGNS. THIS PLAN SHALL LIMIT AND CONTROL THE ISSUANCE AND VALIDITY OF ALL BUILDING PERMITS, AND SHALL RESTRICT AND LIMIT THE CONSTRUCTION, LOCATION, USE, OCCUPANCY AND OPERATION OF ALL LAND AND STRUCTURES WITHIN THIS PLAN TO ALL CONDITIONS, REQUIREMENTS, LOCATIONS AND LIMITATIONS SET FORTH HEREIN. ABANDONMENT, WITHDRAWAL OR AMENDMENT OF THIS PLAN MAY BE PERMITTED ONLY UPON APPROVAL OF THE CITY OF AURORA.

IN WITNESS THEREOF, _____ HAS CAUSED THESE
 (CORPORATION, COMPANY, OR INDIVIDUAL)

PRESENTS TO BE EXECUTED THIS _____ DAY OF _____ AD, _____.

BY: _____ CORPORATE SEAL
 (PRINCIPALS OR OWNERS)

STATE OF COLORADO _____)SS
 COUNTY OF _____)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ AD, _____ BY _____

 (PRINCIPALS OR OWNERS)

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY SEAL

 (NOTARY PUBLIC)

MY COMMISSION EXPIRES _____ NOTARY BUSINESS ADDRESS: _____

CITY OF AURORA APPROVALS

CITY ATTORNEY: _____ DATE: _____

PLANNING DIRECTOR: _____ DATE: _____

PLANNING COMMISSION: _____ DATE: _____
 (CHAIRPERSON)

CITY COUNCIL: _____ DATE: _____
 (MAYOR)

ATTEST: _____ DATE: _____
 (CITY CLERK)

DATABASE APPROVAL DATE

RECORDER'S CERTIFICATE:
 ACCEPTED FOR FILING IN THE OFFICE OF THE CLERK AND RECORDER OF

COLORADO AT _____ O'CLOCK __M, THIS _____ DAY OF _____ AD, _____.

CLERK AND RECORDER: _____ DEPUTY: _____

INDEMNIFICATION AND ADHERENCE TO STANDARDS STATEMENTS
 These plans have been reviewed by the Town Of AURORA for concept only. The review does not imply responsibility by the reviewing department, the Town Engineer, or the Town of AURORA for accuracy and correctness of the calculations. Furthermore, the review does not imply that quantities of items on the plans are the final quantities required. The review shall not be construed for any reason as acceptance of financial responsibility by the Town for additional quantities of items shown that may be required during the construction phase. All work shall be constructed in accordance with the Town Of AURORA Municipal Code, Technical Manuals and/or other Town-approved applicable standards.

TOWN APPROVAL BLOCK
 TOWN OF AURORA APPROVAL
 PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM
 DATE OF DEVELOPMENT SERVICES APPROVAL

Approved By:

 Development Services Date

REVISIONS

NO.	DATE	DESCRIPTION

I HEREBY AFFIRM THAT THESE FINAL CONSTRUCTION PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH ALL APPLICABLE TOWN OF AURORA AND STATE OF COLORADO STANDARDS AND STATUTES. I AM RESPONSIBLE FOR ALL DESIGN AND REVISIONS RELATIVE TO SAID PLANS.

DATE: _____
 LIC. NO.: 53667
 BRIAN W. FRANK

LIVING WATER CAR WASH
857 SOUTH HAVANA STREET
AURORA, COLORADO

COVER SHEET

CJ101

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CITY OF AURORA SITE NOTES:

1. THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS, INCLUDING THE HOMEOWNERS OR MERCHANTS ASSOCIATION, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL FIRE LANE SIGNS AS REQUIRED BY THE CITY OF AURORA.
2. ALL SIGNS MUST CONFORM TO THE CITY OF AURORA SIGN CODE.
3. RIGHT OF WAY FOR INGRESS AND EGRESS FOR SERVICE AND EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, ON AND THROUGH ANY AND ALL PRIVATE ROADS AND WAYS NOW OR HEREAFTER ESTABLISHED ON THE DESCRIBED PROPERTY, AND THE SAME ARE HEREBY DESIGNATED AS "SERVICE/EMERGENCY AND UTILITY EASEMENTS" AND SHALL BE POSTED "NO PARKING - FIRE LANE."
4. "ACCESSIBLE EXTERIOR ROUTES" SHALL BE PROVIDED FROM PUBLIC TRANSPORTATION STOPS, ACCESSIBLE PARKING AND ACCESSIBLE PASSENGER LOADING ZONES AND PUBLIC SIDEWALKS TO 60% OF THE ACCESSIBLE BUILDING ENTRANCE THEY SERVE. THE ACCESSIBLE ROUTE BETWEEN ACCESSIBLE PARKING AND ACCESSIBLE BUILDING ENTRANCES SHALL BE THE MOST PRACTICAL DIRECT ROUTE. THE ACCESSIBLE ROUTE MUST BE LOCATED WITHIN A SIDEWALK. NO SLOPE ALONG THIS ROUTE MAY EXCEED 1:20 WITHOUT PROVIDING A RAMP WITH A MAXIMUM SLOPE OF 1:12 AND HANDRAILS. CROSSWALKS ALONG THIS ROUTE SHALL BE WIDE ENOUGH TO WHOLLY CONTAIN THE CURB RAMP WITH A MINIMUM WIDTH OF 36" AND SHALL BE PAINTED WITH WHITE STRIPES. THE CITY OF AURORA ENFORCES HANDICAPPED ACCESSIBILITY REQUIREMENTS.
5. THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT.
6. THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED SITE PLAN OR LANDSCAPE PLAN ON FILE IN THE PLANNING DEPARTMENT. ALL LANDSCAPING WILL BE INSTALLED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
7. ALL CROSSINGS AND ENCROACHMENTS BY PRIVATE LANDSCAPE IRRIGATION SYSTEMS OR PRIVATE UTILITIES INTO EASEMENTS AND STREET RIGHTS-OF-WAY OWNED BY THE CITY OF AURORA ARE ACKNOWLEDGED BY THE UNDERSIGNED AS BEING SUBJECT TO CITY OF AURORA'S USE AND OCCUPANCY OF THE SAID EASEMENTS OR RIGHTS-OF-WAY. THE UNDERSIGNED, THEIR SUCCESSORS AND ASSIGNS, HEREBY AGREE TO INDEMNIFY THE CITY OF AURORA FOR ANY LOSS, DAMAGE OR REPAIR TO CITY FACILITIES THAT MAY RESULT FROM THE INSTALLATION, OPERATION OR MAINTENANCE OF SAID PRIVATE IRRIGATION SYSTEMS OR PRIVATE UTILITIES.
8. THE APPROVAL OF THIS DOCUMENT DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS AND BUILDING PLANS. CONSTRUCTION PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
9. ALL BUILDING ADDRESS NUMBERS SHALL COMPLY WITH SECTIONS 126-271 AND 126-278 OF THE AURORA CITY CODE.
10. ALL ROOFTOP MECHANICAL EQUIPMENT AND VENTS GREATER THAN EIGHT (8) INCHES IN DIAMETER MUST BE SCREENED. SCREENING MAY BE DONE EITHER WITH AN EXTENDED PARAPET WALL OR A FREESTANDING SCREEN WALL. SCREENS SHALL BE AT LEAST AS HIGH AS THE EQUIPMENT THEY HIDE. IF EQUIPMENT IS VISIBLE BECAUSE SCREENS DON'T MEET THIS MINIMUM HEIGHT REQUIREMENT, THE DIRECTOR OF PLANNING MAY REQUIRE CONSTRUCTION MODIFICATIONS PRIOR TO THE ISSUANCE OF A PERMANENT CERTIFICATE OF OCCUPANCY.
11. NOTWITHSTANDING ANY SURFACE IMPROVEMENTS, LANDSCAPING, PLANTING OR CHANGES SHOWN IN THESE SITE OR CONSTRUCTION PLANS, OR ACTUALLY CONSTRUCTED OR PUT IN PLACE, ALL UTILITY EASEMENTS MUST REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH TO ALLOW FOR ADEQUATE MAINTENANCE EQUIPMENT. ADDITIONALLY, NO INSTALLATION, PLANTING, CHANGE IN THE SURFACE, ETC., SHALL INTERFERE WITH THE OPERATION OF THE UTILITY LINES PLACED WITHIN THE EASEMENT. BY SUBMITTING THESE SITE OR CONSTRUCTION PLANS FOR APPROVAL, THE LANDOWNER RECOGNIZES AND ACCEPTS THE TERMS, CONDITIONS AND REQUIREMENTS OF THIS NOTE.
12. FINAL GRADE SHALL BE AT LEAST SIX (6) INCHES BELOW ANY EXTERIOR WOOD SIDING ON THE PREMISES.
13. ALL INTERESTED PARTIES ARE HEREBY ALERTED THAT THIS SITE PLAN IS SUBJECT TO ADMINISTRATIVE CHANGES AND AS SHOWN ON THE ORIGINAL SITE PLAN ON FILE IN THE AURORA CITY PLANNING OFFICE AT THE MUNICIPAL BUILDING. A COPY OF THE OFFICIAL CURRENT PLAN MAY BE PURCHASED THERE. LIKEWISE, SITE PLANS ARE REQUIRED TO AGREE WITH THE APPROVED SUBDIVISION PLAT OF RECORD AT THE TIME OF A BUILDING PERMIT; AND IF NOT, MUST BE AMENDED TO AGREE WITH THE PLAT AS NEEDED, OR VICE VERSA.
14. ERRORS IN APPROVED SITE PLANS RESULTING FROM COMPUTATIONS OR INCONSISTENCIES IN THE DRAWINGS MADE BY THE APPLICANT ARE THE RESPONSIBILITY OF THE PROPERTY OWNER OF RECORD. WHERE FOUND, THE CURRENT MINIMUM CODE REQUIREMENTS WILL APPLY AT THE TIME OF BUILDING PERMIT. PLEASE BE SURE THAT ALL PLAN COMPUTATIONS ARE CORRECT.
15. THE 2015 INTERNATIONAL FIRE CODE, APPENDIX J AND CITY OF AURORA CODE. CHAPTER 66-38 FIRE PREVENTION REGULATIONS, REQUIRE ALL BUILDINGS TO BE ASSESSED FOR ADEQUATE ELECTRICAL INSPECTIONS. THE GENERAL CONTRACTOR (GC) WILL BE NOTIFIED BY A BUILDING LIFE SURVEILLANCE. A STRUCTURE THAT HAS PASSED THIS SURVEILLANCE REQUIRES NO FURTHER ACTION BY THE GC. A FAILED RADIO SURVEILLANCE WILL REQUIRE AN INDEPENDENT THIRD PARTY RADIO STUDY FOR THE ENTIRE BUILDING AT THE BUILDING AT THE OWNER OR DEVELOPERS EXPENSE. WHERE AN EMERGENCY RESPONDER RADIO COVERAGE SYSTEM IS REQUIRED. A DESIGNATED CONTRACTOR SHALL SUBMIT PLANS TO THE BUILDING DIVISION TO OBTAIN A BUILDING PERMIT PRIOR TO INSTALLATION.
16. ALL REPRESENTATIONS AND COMMITMENTS MADE BY APPLICANTS AND PROPERTY OWNERS AT PUBLIC HEARINGS REGARDING THIS PLAN ARE BINDING UPON THE APPLICANT, PROPERTY OWNER, AND ITS HEIRS, SUCCESSORS, AND ASSIGNS.
17. ARCHITECTURAL FEATURES, SUCH AS BAY WINDOWS, FIREPLACES, ROOF OVERHANGS, GUTTERS, EAVES, FOUNDATIONS, FOOTINGS, CANTILEVERED WALLS, ETC, ARE NOT ALLOWED TO ENCROACH INTO ANY EASEMENT OR FIRE LANE.
18. THE VENDOR OF ANY FUTURE SALE OF THE REAL PROPERTY SHALL PROVIDE THE REQUIRED NOTICE PER CITY CODE SECTION 146-1587(C) TO BE RECORDED WITH THE COUNTY CLERK AND RECORDER AND SHALL PROVIDE SUCH NOTICE TO EACH PROSPECTIVE PURCHASER OF ANY AND ALL SAID PROPERTY. SEE EXHIBIT C4 UNDER THE AIRPORT RELATED LAND USE RESTRICTIONS SECTION OF THIS GUIDEBOOK.

DATA BLOCK

LAND AREA WITHIN PROPERTY LINES	36,054 SF	0.8277 AC
NUMBER OF BUILDINGS	1	
BUILDING HEIGHT	32'-0" TO TOP OF ARCHITECTURAL FEATURE	
BUILDING CONSTRUCTION TYPE V-B AND NON SPRINKLERED	24'-10" AT TOP OF ROOF	
TOTAL BUILDING COVERAGE AND GFA	5,646 SF	0.1296 AC 15.66%
HARD SURFACE AREA	11,374 SF	0.2611 AC 31.55%
LANDSCAPE AREA	7,120 SF	0.1635 AC 19.75%
SIDEWALKS AND PATIOS	2,945 SF	0.0676 AC 8.17%
PRESENT ZONING CLASSIFICATION	SUSTAINABLE INFILL REDEVELOPMENT	
MAXIMUM PERMITTED/ALLOWABLE SIGN AREA	MAXIMUM SIGN AREA NOT TO EXCEED 94 SF. NOT ONE SIGN CAN BE LARGER THAN 200 SF.	
PROPOSED TOTAL SIGN AREA	MAXIMUM SIGNAGE SHALL BE NO GREATER THAN 94 SF FOR TOTAL SIGNAGE AREA.	
PROPOSED NUMBER OF SIGNS	2 WALL SIGNS (1 SHOWN)	
PROPOSED MONUMENT SIGN	1 MONUMENT SIGN.	
PROPOSED MONUMENT SIGN AREA	TBD-ALL SIGNS WILL BE SUBMITTED UNDER SEPARATE PERMIT	
PARKING SPACES REQUIRED	1 PARKING SPACE PER WASHING MODULE PLUS 1 DRYING SPACE. + * SIR PARKING, SECTION 146-736 (B)	
STACKING	2 CARS STACKING ARE PROVIDED	
PARKING SPACES PROVIDED	3 VEHICULAR PARKING STALLS ARE PROVIDED *	
VAN ACCESSIBLE SPACES REQUIRED	1	
VAN ACCESSIBLE SPACES PROVIDED	1	
BIKE PARKING SPACES REQUIRED	3% OR 1 BIKE PARKING STALL / 1 RACK	
BIKE PARKING SPACES PROVIDED	6 BICYCLE PARKING STALLS / 3 BIKE RACKS	



WSB PROJECT NO.:
012509-000

SCALE: DESIGN BY:
AS SHOWN MH
PLAN BY: CHECK BY:
CM BF

REVISIONS

NO.	DATE	DESCRIPTION

I HEREBY AFFIRM THAT THESE FINAL CONSTRUCTION PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH ALL APPLICABLE TOWN OF AURORA AND STATE OF COLORADO STANDARDS AND STATUTES. I RESPECTFULLY ACKNOWLEDGE MY RESPONSIBILITY FOR ALL DESIGN AND REVISIONS RELATIVE TO SAID PLANS.

DATE: _____ LIC. NO.: 53667
BRIAN W. FRANK

LIVING WATER CAR WASH
857 SOUTH HAVANA STREET
AURORA, COLORADO

GENERAL NOTES

NO.	DATE	DESCRIPTION

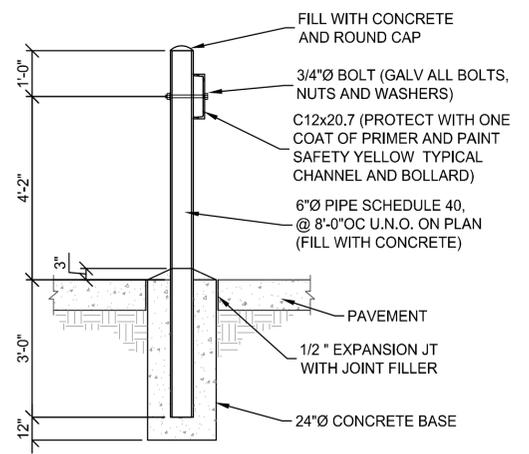
I HEREBY AFFIRM THAT THESE FINAL CONSTRUCTION PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH ALL APPLICABLE TOWN OF CASTLE ROCK AND STATE OF COLORADO STANDARDS AND STATUTES, RESPECTIVELY, AND THAT I AM FULLY RESPONSIBLE FOR ALL DESIGN AND REVISIONS RELATIVE TO SAID PLANS.

BRIAN W. FRANK
DATE: _____ L.C. NO.: 53667

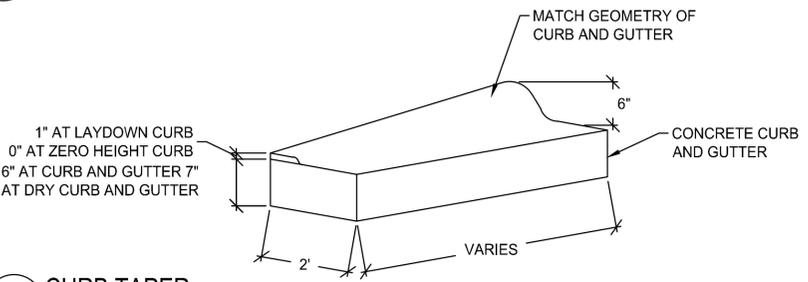
LIVING WATER CAR WASH
857 SOUTH HAVANA STREET
AURORA, COLORADO

SITE DETAILS

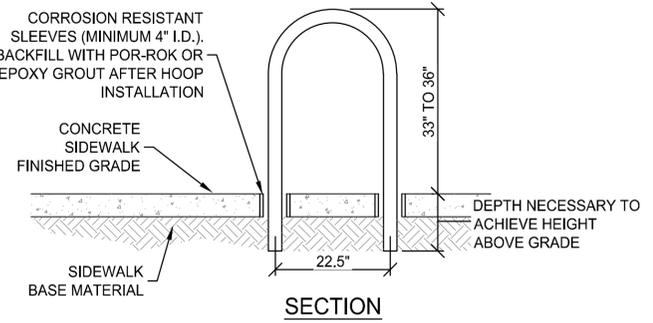
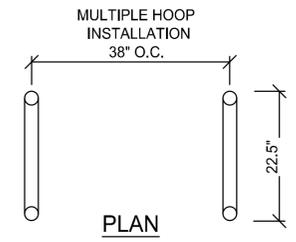
CS501



1 BOLLARD WITH CHANNEL
CS501 SCALE: NO SCALE

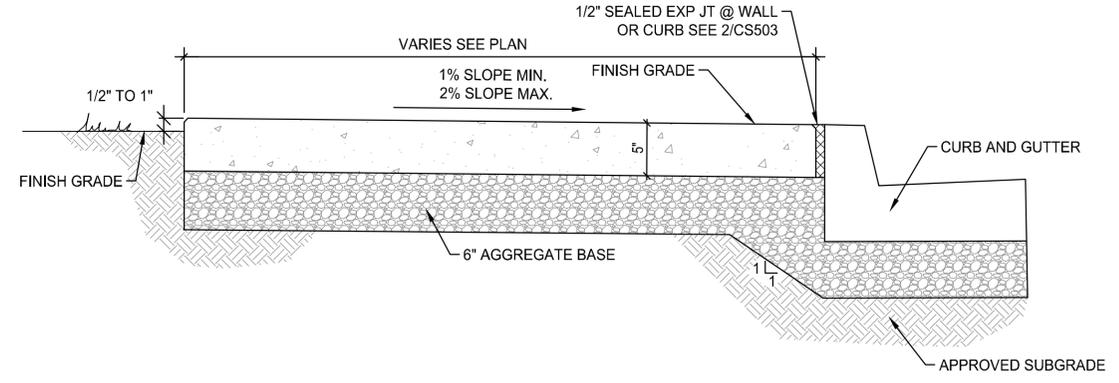


4 CURB TAPER
CS501 SCALE: NO SCALE

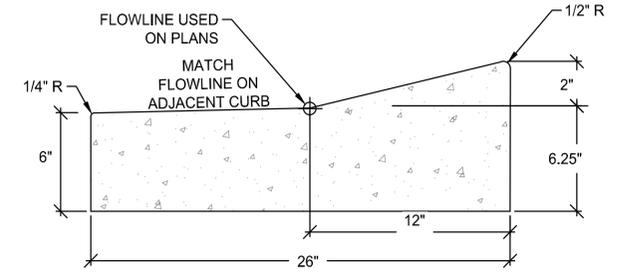


NOTES:
DERO, INC. HEAVY DUTY HOOP RACK OR APPROVED EQUAL; COLOR: POWDER COAT BLACK; IN-GROUND MOUNT.

7 BICYCLE RACK
CS501 SCALE: NO SCALE

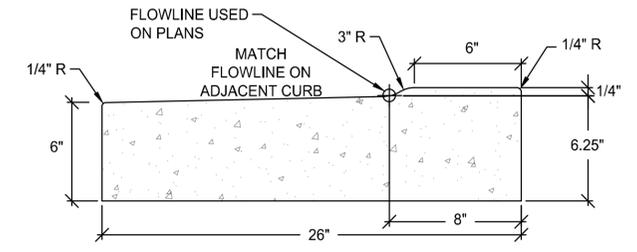


2 CONCRETE SIDEWALK
CS501 SCALE: NO SCALE



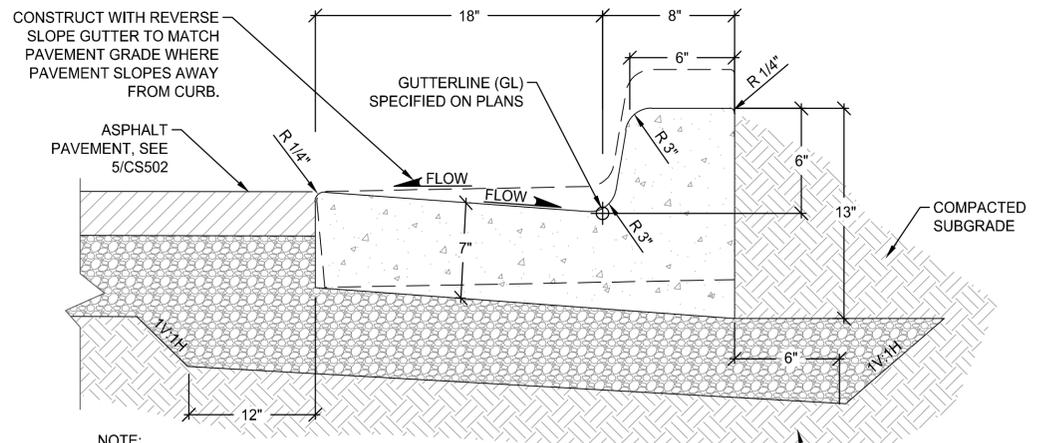
NOTE:
SEE 4/CS502 FOR DETAIL OF AGGREGATE BASE AND SUBGRADE

5 SURMOUNTABLE CURB AND GUTTER
CS501 SCALE: NO SCALE



NOTE:
SEE 4/CS502 FOR DETAIL OF AGGREGATE BASE AND SUBGRADE

6 RIBBON CURB AND GUTTER
CS501 SCALE: NO SCALE



NOTE:
EXTEND AGGREGATE BASE FROM PAVEMENT SECTION UNDERNEATH CURB AND GUTTER AS SHOWN. IF PAVEMENT SECTION INCLUDES SAND DRAINAGE LAYER, DRAINAGE LAYER SHALL EXTEND ALSO.
* GUTTER SHALL WIDEN AT INLETS TO MATCH WIDTH OF CASTING.

3 CONCRETE CURB AND GUTTER
CS502 SCALE: NO SCALE

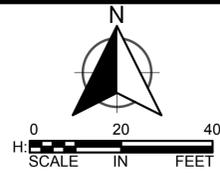
NOT FOR CONSTRUCTION

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K:\012509-000\CarPlan\012509-000-CG101-GRADING-PLAN.dwg 11/17/2018 12:15:22 PM

GENERAL NOTES

1. ALL STORM SEWER WITHIN THIS SITE IS PRIVATE AND WILL BE MAINTAINED BY PROPERTY OWNER.



WSB PROJECT NO.:
012509-000

SCALE: AS SHOWN
DESIGN BY: MH
PLAN BY: CM
CHECK BY: BF

REVISIONS	
NO.	DESCRIPTION

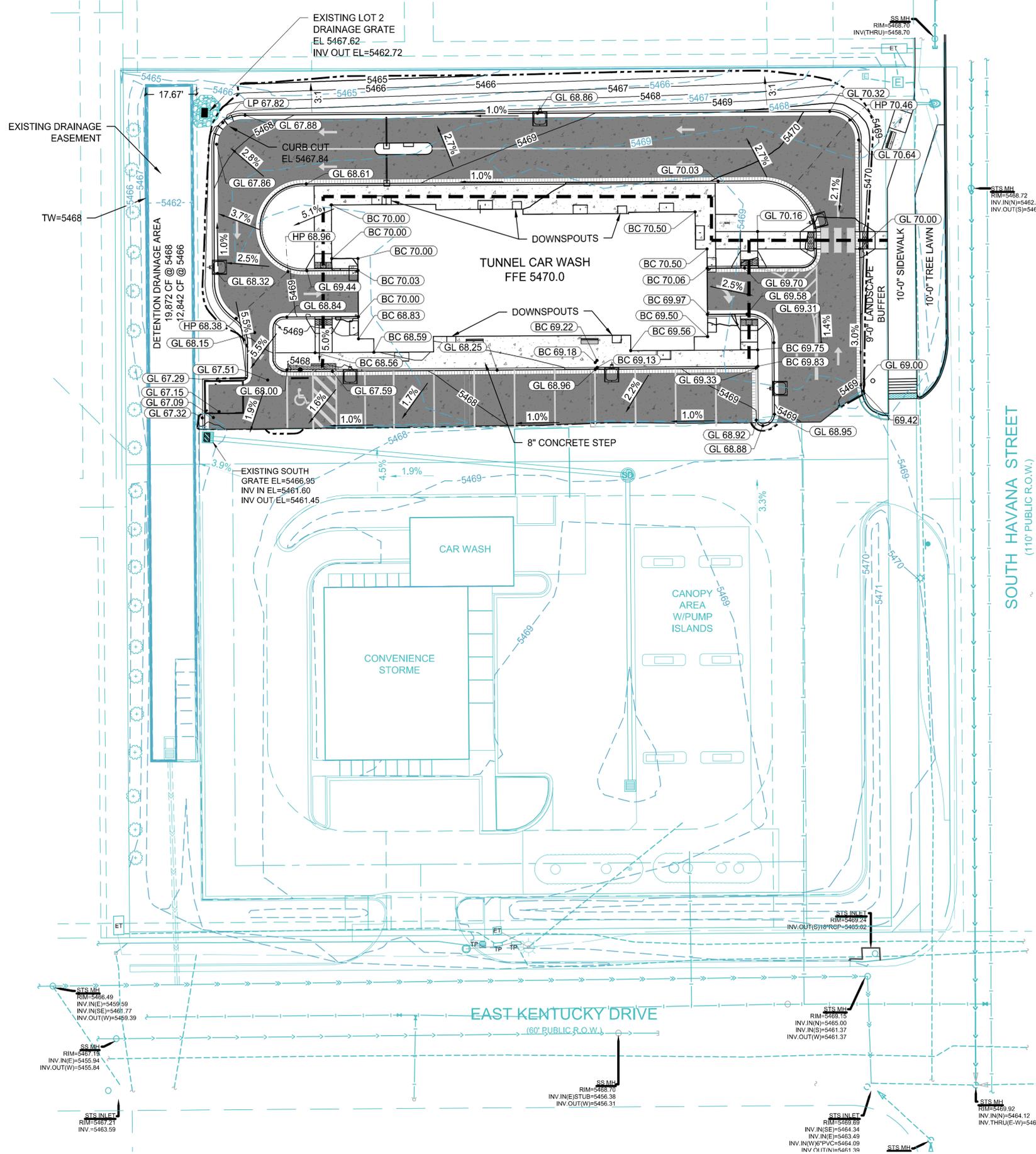
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BRIAN W. FRANK
LIC. NO. 53667
DATE: _____

LIVING WATER CAR WASH
857 SOUTH HAVANA STREET
AURORA, COLORADO

GRADING PLAN

CG101



GRADING PLAN LEGEND

- PROPERTY LINE
- - - EASEMENT
- - - CONSTRUCTION LIMITS
- HIGH POINT
- ▒ CONCRETE WALK
- ▒ CONCRETE PAVEMENT
- ~ PROPOSED CONTOUR
- ~ EXISTING CONTOUR
- XXX○ PROPOSED CONTOUR
- XX○ EXISTING SPOT ELEVATION

- GL GUTTER LINE
- BC BUILDING CORNER
- HP HIGH POINT
- LP LOW POINT
- TOW TOP OF WALL

EARTHWORK	
RAW CUT	11 CY
RAW FILL	596 CY
NET FILL	585 CY

THIS IS AN ENGINEER'S ESTIMATE AND DOES NOT INCLUDE HOLD DOWNS OR ANY REQUIRED SOILS CORRECTIONS. CONTRACTOR RESPONSIBLE FOR VERIFYING ACTUAL REQUIRED EARTHWORK FOR SITE.

TABULATION OF PROJECT AREAS	
TOTAL PROJECT AREA (CONSTRUCTION LIMITS)	0.62 ACRES
IMPERVIOUS BEFORE DEVELOPMENT	0.00 ACRES (00%)
IMPERVIOUS AFTER DEVELOPMENT	0.30 ACRES (48%)

NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION

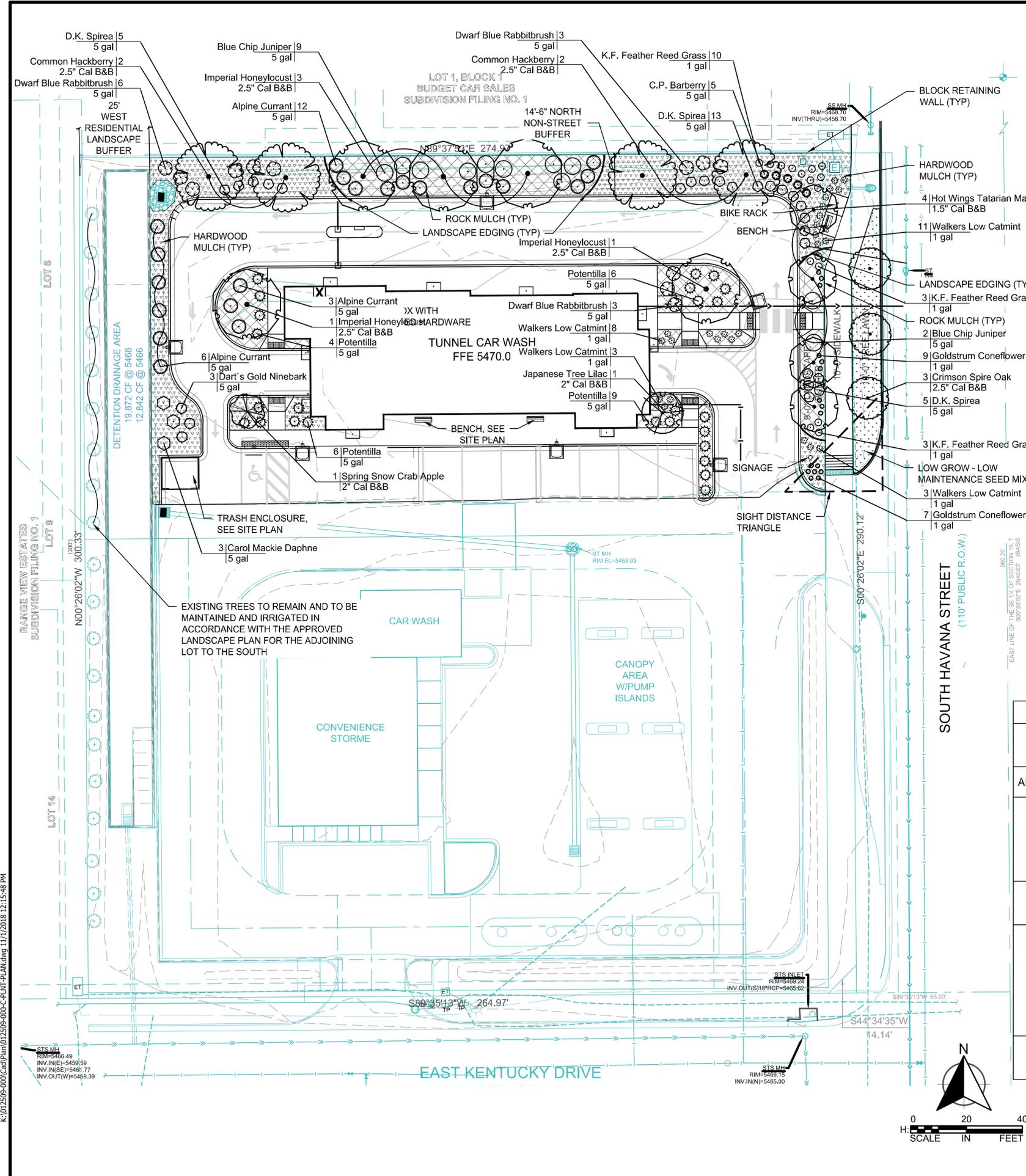
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EVA MARIE KELLY, P.L.A.
LIC. NO.: LA.0001284
DATE: _____

LIVING WATER CAR WASH
AURORA, COLORADO

LANDSCAPE PLAN

LS101



LANDSCAPE PLAN LEGEND

- PROPERTY LINE
- EASEMENT
- ROCK MULCH
- HARDWOOD MULCH
- SEED - LOW GROW-LOW MAINTENANCE MIX
 - 40% CREEPING RED FESCUE
 - 20% PERENNIAL RYEGRASSES
 - 15% HARD FESCUE
 - 10% CHEWINGS FESCUE
 - 15% BLUEGRASS
- LIGHT FIXTURE (SEE LIGHTING PLAN)
- LANDSCAPE EDGING

SITE DATA	AREA IN SF	%
TOTAL SITE AREA:	36,054	100%
BUILDING COVERAGE	5,646	16%
HARD SURFACE AREA	22,586	62%
LANDSCAPE AREA	7,822	22%

STANDARD RIGHTS-OF-WAY LANDSCAPING / HAVANA OVERLAY DISTRICT

DESCRIPTION	PROPERTY LINE LENGTH	TREE LAWN LENGTH	CITY SECTION CODE	REQUIREMENT	TREES REQ. (1/40')	TREES PROVIDED
S HAVANA ST	136 LF	95 LF	146-889.B.1	1 STREET TREE PER 40 LF OF TREE LAWN SELECTED FROM "HAVANA STREET OVERLAY DISTRICT PLANT LIST"	3	3

BUILDING FOUNDATION / PERIMETER LANDSCAPE TABLE - PER SECTION 146-1451

ELEVATION (DIRECTION FACING)	ELEVATION LENGTH	TREE EQUIVALENT (1 TREE EQUIVALENT PER 40 LF)	TREE PROVIDED	SHRUBS PROVIDED (10 SHRUBS PER TREE EQUIVALENT)
EAST - ROW	48 Ft	2	2	N/A
WEST - RESIDENTIAL FACING	52	2	2	N/A

STREET PERIMETER, NON - STREET FRONTAGE BUFFERS, SPECIAL BUFFERS

AREA	LOCATION	CITY CODE	NOTES	LENGTH	WIDTH REQ.	WIDTH PROVIDED	TREES/SHRUBS REQUIRED/PROVIDED	
							TREES	SHRUBS
A	EAST - STREET FRONTAGE	146.1422.C / 146-889.B.2	1 TREE AND 10 SHRUBS PER 40 LF - PLANT SELECTIONS FROM "HAVANA STREET OVERLAY DISTRICT PLANT LIST"	136 LF	9 FT	9 FT	4 / 4	34 / 35
B	SOUTH - NON-STREET BUFFER	146-1423.D	WAIVER REQUIRED	265 LF	N/A	N/A	N/A	N/A
C	WEST - RESIDENTIAL BUFFER	146-1451.B.3.A	1 TREE AND 5 SHRUBS PER 25 LF WITH 50% OF TREE SPECIES OF BE EVERGREEN. EXISTING 9 CONIFEROUS TREES TO REMAIN	136 LF	25 FT	31 FT	6 / 9	0 / 12
	NORTH - NON-STREET BUFFER	146-1451.B.3.B	1 TREE AND 5 SHRUBS PER 40 LF	265 LF	10 FT	14 FT	7 / 7	34 / 40

LANDSCAPE WAIVER REQUEST FOR SOUTH PROPERTY LINE:
CITY CODE SECTION: 146-1423 LANDSCAPE SITE PERIMETER BUFFERS FOR NON-STREET FRONTAGES

NOT FOR CONSTRUCTION

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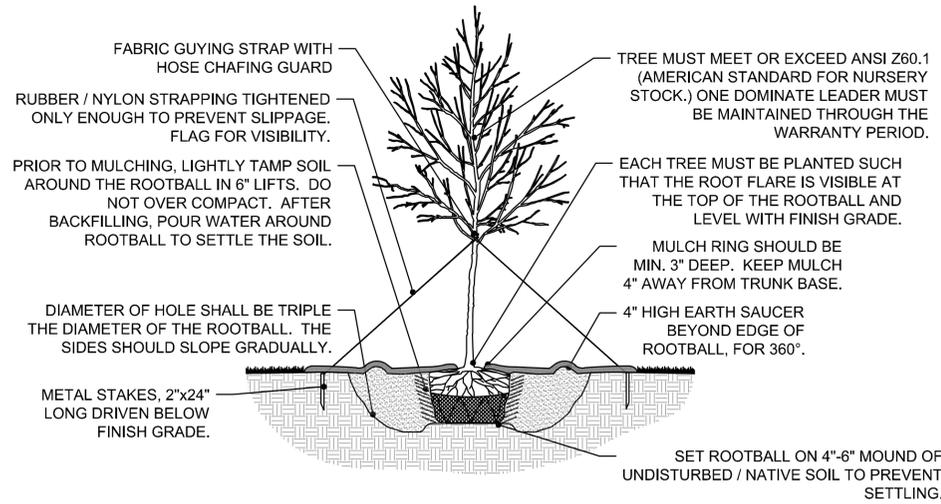
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EVA MARIE KELLY, PLA
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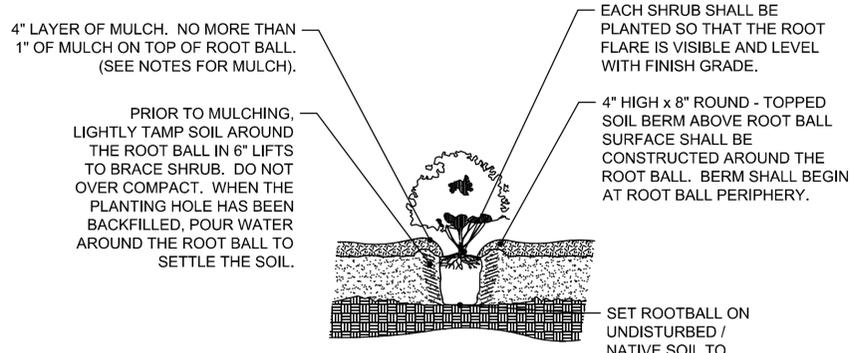
LIVING WATER CAR WASH

AURORA, COLORADO

LANDSCAPE DETAILS



1 DECIDUOUS TREE PLANTING DETAIL
Scale: NTS



2 CONTAINER SHRUB DETAIL
Scale: NTS

PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	QTY	WATER USAGE
	Acer tataricum 'Hot Wings' / Hot Wings Tatarian Maple	1.5" Cal B&B	4	XX
	Celtis occidentalis / Common Hackberry	2.5" Cal B&B	4	X
	Gleditsia triacanthos 'Imperial' / Imperial Honeylocust	2.5" Cal B&B	5	X
	Malus x 'Spring Snow' / Spring Snow Crab Apple	2" Cal B&B	1	XX
	Quercus robur x alba 'Crimson Spire' / Crimson Spire Oak	2.5" Cal B&B	3	XX
	Syringa reticulata / Japanese Tree Lilac	2" Cal B&B	1	XX
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	QTY	
	Berberis thunbergii 'Crimson Pygmy' / C.P. Barberry	5 gal	5	X
	Caryopteris x clandonensis 'Dark Knight' / D.K. Spirea	5 gal	23	XXX
	Chrysothamnus nauseosus nauseosus / Dwarf Blue Rabbitbrush	5 gal	12	XXX
	Daphne x burkwoodii 'Carol Mackie' / Carol Mackie Daphne	5 gal	3	XXX
	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper	5 gal	11	XX
	Physocarpus opulifolius 'Dart's Gold' / Dart's Gold Ninebark	5 gal	3	XX
	Potentilla fruticosa / Potentilla	5 gal	25	XX
	Ribes alpinum / Alpine Currant	5 gal	21	XX
PERENNIALS	BOTANICAL NAME / COMMON NAME	SIZE	QTY	
	Calamagrostis x acutiflora 'Karl Foerster' / K.F. Feather Reed Grass	1 gal	16	X
	Nepeta x faassenii 'Walkers Low' / Walkers Low Catmint	1 gal	25	XX
	Rudbeckia fulgida 'Goldstrum' / Goldstrum Coneflower	1 gal	16	XX

X-RATED = PLANTS NEED 1" OF WATER PER WEEK
XX-RATED = PLANTS NEED 1/2" OF WATER PER WEEK
XXX-RATED = PLANTS NEED 1/2" OF WATER EVERY TWO WEEKS

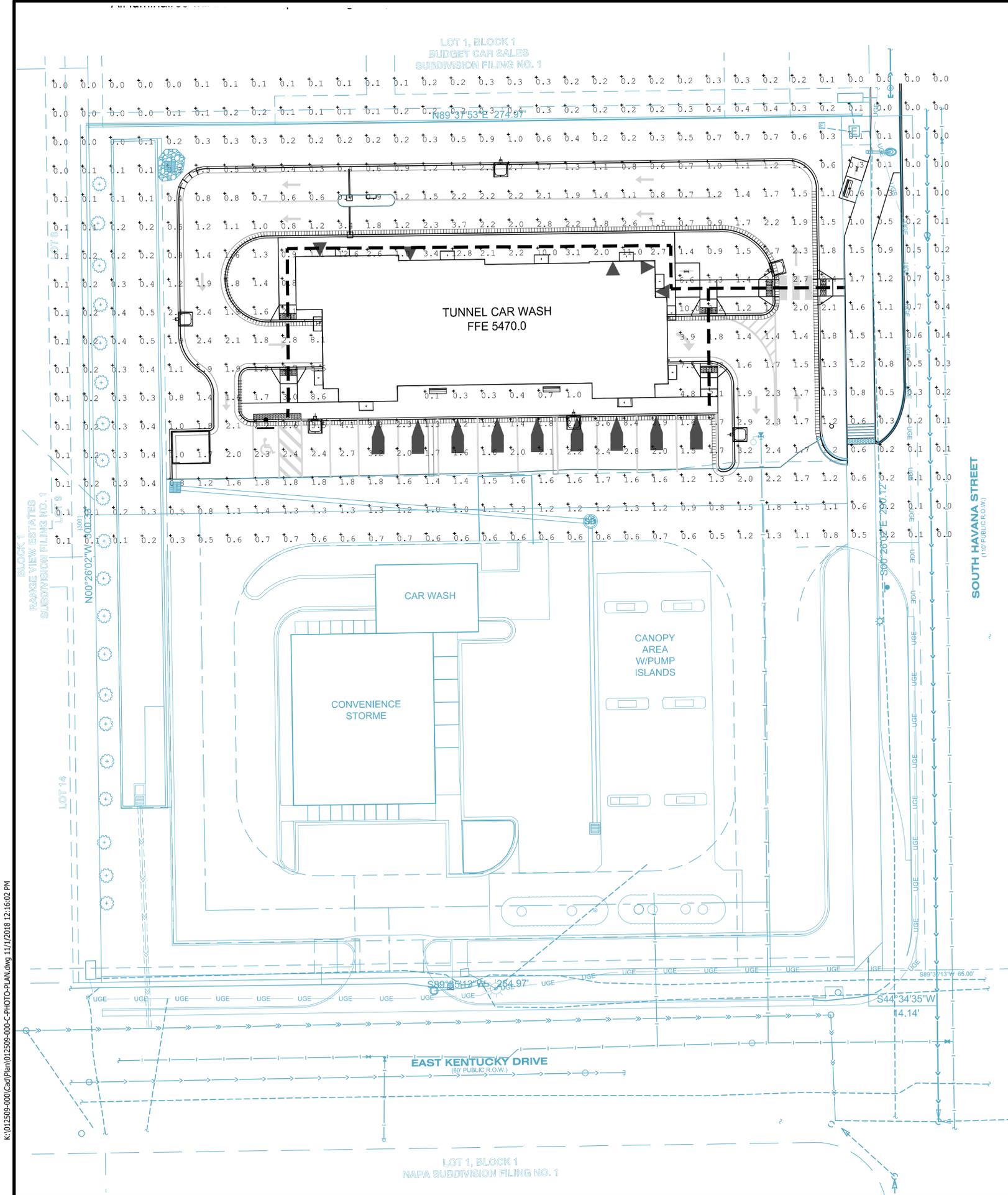
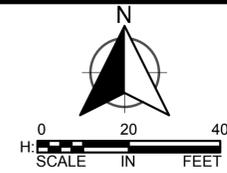
CITY OF AURORA STANDARD LANDSCAPE NOTES

- ALL UTILITY EASEMENT SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT ENTRY
- THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS, SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED SITE PLAN OR LANDSCAPE PLAN ON FILE IN THE PLANNING DEPARTMENT. ALL LANDSCAPING WILL BE INSTALLED AS DELINEATED ON THE PLAN, PRIOR TO ISSUANCE OF CERTIFICATES OF OCCUPANCY.
- ALL LANDSCAPED AREAS AND PLANT MATERIAL, EXCEPT FOR NON-IRRIGATED NATIVE, RESTORATIVE, AND DRYLAND GRASS AREAS THAT COMPLY WITH REQUIREMENTS FOUND IN SEC. 146-1429 AND/OR SEC. 146-1435 MUST BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION, AND MAINTENANCE SHALL CONFORM TO REQUIREMENTS FOUND IN THE CITY OF AURORA IRRIGATION ORDINANCE.

ADDITIONAL LANDSCAPE NOTES

- ALL PROPOSED LANDSCAPING WITHIN THE SIGHT TRIANGLE SHALL BE IN COMPLIANCE WITH COA ROADWAY SPECIFICATIONS, SECTION 4.04.2.10'.
- LANDSCAPE EDGING: LANDSCAPE EDGING TO BE STANDARD BLACK POLYETHYLENE VINYL LANDSCAPE EDGING, COMMERCIAL GRADE, V-LIPPED AND EXTRUDED IN STANDARD LENGTHS. INSTALL EDGING PER MANUFACTURER'S WRITTEN INSTRUCTION AND ACCESSORY MATERIALS. ANCHOR WITH 9" DEPTH STEEL STAKES SPACED APPROXIMATELY A MAXIMUM OF 36" APART, DRIVEN THROUGH V-LIP OF EDGING.
- HARDWOOD MULCH: MULCH TO BE DOUBLE SHREDDED HARDWOOD MULCH, NATURAL COLOR, FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. MULCH SHALL BE PLACED AROUND INDIVIDUAL TREES TO A FOUR-FOOT (4') DIAMETER, 6" DEEP (FOR TREES NOT LOCATED IN PLANTING BEDS). FOR PLANTING BEDS, MULCH SHOULD EXTEND OUT AS FAR OUT AS THE EDGE OF THE PLANTING BED OR EDGER, AS INDICATED ON THE LANDSCAPE PLAN, TO A DEPTH OF 4". KEEP AWAY FROM DIRECT CONTACT WITH THE STEM OR TRUNK OF ALL PLANT MATERIALS. MULCH SHALL BE INSTALLED WITHIN FORTY-EIGHT (48) HOURS OF PLANT INSTALLATION. REFER TO MULCH LOCATIONS AS INDICATED ON THE LANDSCAPE PLAN.
- ROCK MULCH: ROCK MULCH TO BE 1 1/2" RIVER ROCK. PLACE ROCK MULCH TO A DEPTH OF 4" IN PLANTING BEDS AS INDICATED ON THE LANDSCAPE PLAN.
- ALL PLANT MATERIALS SHALL BE TRUE TO THEIR SCIENTIFIC NAME AND SIZE AS INDICATED IN THE PLANT SCHEDULE.

NOT FOR CONSTRUCTION



GENERAL NOTE:

ILLUMINATION WITHIN THE SITE MUST COMPLY WITH THE 2015 INTERNATIONAL BUILDING CODE REQUIREMENT FROM SECTION 1006 - MEANS OF EGRESS ILLUMINATION. SECTION 1006. ILLUMINATION REQUIRED: THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING IS OCCUPIED. SECTION 1006.2 ILLUMINATION LEVEL. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE (11 LUX) AT THE FLOOR LEVEL, AND CONTINUING TO THE "PUBLIC WAY".

Luminaire Schedule						
Symbol	Qty	Label	Description	MH	Lumens	LLF
◻	12	Wall Mount	WST LED P1 30K VF HVOLT	8' -8"	1,500	1.000
◻	6	20' Pole Mount	DSX1 LED P2 30K T3M MVOLT	20' -0"	8,260	1.000

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
1 - Area	Illuminance	Fc	1.20	12.8	0.0	N.A.

NOTES

- All luminaires will be full-cut-off.
- All luminaires will be mounted parallel to grade (no tilt).

REVISIONS	
NO.	DATE

LIVING WATER CAR WASH
AURORA, COLORADO
857 SOUTH HAVANA STREET

PHOTOMETRIC
PLAN

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A+ Capable options indicated by this color background.

Ordering Information

EXAMPLE: WST LED P1 40K VF MVOLT DDBTXD

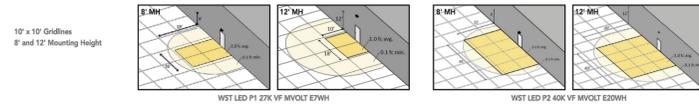
Series	Performance Package	Color temperature	Distribution	Voltage	Mounting
WST LED					
P1	1,500 Lumen package	27K 2700 K	VF Visual comfort forward throw	MVOLT ¹	Shipped included (blank)
P2	3,000 Lumen package	30K 3000 K	VW Visual comfort wide	120 ²	Surface mounting bracket
P3	6,000 Lumen package	40K 4000 K		208 ³	Shipped separately
		50K 5000 K		240 ⁴	BBW Surface-mounted back box ⁵
					PBBW Premium surface-mounted back box ⁶

Options	Finish required
PE Photoelectric cell, button type ⁸	DDBXD Dark bronze
PER NEMA twist-lock receptacle only (controls ordered separate) ⁹	DBLXD Black
PER5 Five-wire receptacle only (controls ordered separate) ⁹	DNAXD Natural aluminum
PER7 Seven-wire receptacle only (controls ordered separate) ⁹	DWHXD White
PIR Motion/Ambient Light Sensor, 8-15' mounting height ¹⁰	DSXD Sandstone
PIR1FCV Motion/Ambient sensor, 8-15' mounting height, ambient sensor enabled at 16" ^{10,11}	DDBTXD Textured dark bronze
PIR1H 180° motion/ambient light sensor, 15-30' mounting height ¹⁰	DBLXD Textured black
PIR1FCVH Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 16" ^{10,11}	DNAXD Textured natural aluminum
SF Single fuse (120, 277, 347V) ¹²	DWHCXD Textured white
DF Double fuse (208, 240, 480V) ¹³	DSSTXD Textured sandstone
DS Dual switching ¹⁴	
E7WH Emergency battery backup, Non CEC compliant (FW) ¹⁵	

Accessories	NOTES
WSTCFRBM DDBXD U Premium Surface-mounted back box	1 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
WSTWH DDBTXD U Surface-mounted back box	2 Single fuse (SF) requires 120V, 277V or 347V Double Fuse (DF) requires 208V, 240V or 480V.
RBPW DDBXD U Retrofit back plate	3 Also available as a separate accessory; see accessories information.
	4 Top conduit entry standard.
	5 Need to specify 120, 208, 240 or 277 voltage.
	6 Photocell ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
	7 Not available with VG or WG. See PER Table.
	8 Reference Motion Sensor table.
	9 Not available with Emergency options, PE or PER options.
	10 Not available with 347/480V.
	11 Battery pack rated for 20° to 40°C.
	12 Comes with PBBW.
	13 Warranty period is 3 years.
	14 Not available with BBW.
	15 Must order with fixture, not an accessory.

Emergency Battery Operation

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency backup configurations include an independent secondary driver with an integral relay to immediately detect AC power loss, meeting interpretations of NFPA 70/NEC 2008 - 700.16. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time supply power is lost, per International Building Code Section 1006 and NFPA 101 Life Safety Code Section 7.3, provided luminaires are mounted at an appropriate height and illuminate an open space with no major obstructions. The examples below show illuminance of 1 fc average and 0.1 fc minimum of the P1 power package and VF distribution product in emergency mode.



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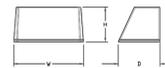


WST LED Architectural Wall Sconce



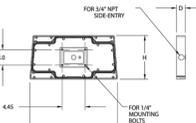
Specifications Luminaire

Height: 8-1/2" (21.59 cm)
 Width: 17" (43.18 cm)
 Depth: 10-3/16" (25.9 cm)
 Weight: 20 lbs (9.1 kg)



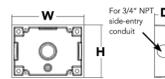
Optional Back Box (PBBW)

Height: 8.49" (21.56 cm)
 Width: 17.01" (43.21 cm)
 Depth: 1.70" (4.32 cm)



Optional Back Box (BBW)

Height: 4" (10.2 cm)
 Width: 5-1/2" (14.0 cm)
 Depth: 1-1/2" (3.8 cm)



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Category Number _____
 Notes _____
 Type _____

Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL[®] controls marked by a shaded background. DTL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability!
- This luminaire is part of an A+ Certified solution for ROAM[®] or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background!

To learn more about A+, visit www.acuitybrands.com/aplus.

See ordering tree for details.

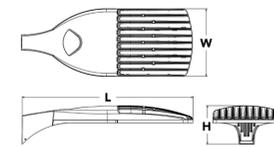
A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#).

D-Series Size 1 LED Area Luminaire



Specifications

EPA: 1.01 f² (0.09 m²)
 Length: 33" (83.8 cm)
 Width: 13" (33.0 cm)
 Height: 7-1/2" (19.0 cm)
 Weight (max): 27 lbs (12.2 kg)



A+ Capable options indicated by this color background.

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA DDBXD

Series	LEDs	Color temperature	Distribution	Voltage	Mounting
DSX1 LED					
P7	Forward optics	30K 3000 K	T1S Type I short	MVOLT ^{1,2}	Shipped included
P4		40K 4000 K	T2S Type II short	120 ³	SPA Square pole mounting
P8		50K 5000 K	T3M Type III short	208 ^{3,4}	RPA Round pole mounting
P9		AMBCP Amber phosphor converted ⁵	T3S Type III short	240 ^{3,4}	WBA Wall bracket
P10	Rotated optics		T3M Type III medium	277 ⁴	SRUMBA Square pole universal mounting adaptor ¹
P11			T4M Type IV medium	347 ^{3,4,5}	RPMUBA Round pole universal mounting adaptor ¹
			TFTM Forward throw medium	480 ^{3,4,5}	Shipped separately
			TSVS Type V very short		IKM8 DDBXD U Most arm mounting bracket adaptor (specify finish) ²

Control options	Other options	Finish required
Shipped installed	PIR1FCVH Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 16" ^{10,11}	DDBXD Dark bronze
N1ZAR2 slight AIG generation 2 enabled ¹⁰	BL30 Bi-level switched dimming, 20% ^{14,15}	DBLXD Black
PER NEMA twist-lock receptacle only (controls ordered separate) ⁹	BLE0 Bi-level switched dimming, 50% ^{14,15}	DNAXD Natural aluminum
PER5 Five-wire receptacle only (controls ordered separate) ^{9,12}	P1M1T03 Part night, dim 5 hrs ¹³	DWHXD White
PER7 Seven-wire receptacle only (controls ordered separate) ^{9,12}	P1M1T03 Part night, dim 7 hrs ¹³	DDBTXD Textured dark bronze
DMG 0-10V dimming extend out back of housing for external control (leads exit fixture)	P1M1T03 Part night, dim 5 hrs ¹³	DBLXD Textured black
DS Dual switching ¹⁴	P1M1T03 Part night, dim 7 hrs ¹³	DNAXD Textured natural aluminum
PIR Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 16" ^{10,11}	FA0 Field adjustable output ¹⁶	Shipped separately
PIR1H Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 16" ^{10,11}		BS Bird spikes ¹⁷
PIR1FCV Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 16" ^{10,11}		EGS External glare shield ¹⁸

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WSB PROJECT NO.: 012509-000

SCALE: AS SHOWN
 DESIGN BY: MH
 PLAN BY: CM
 CHECK BY: BF

NO.	DATE	REVISIONS	
		DESCRIPTION	

LIVING WATER CAR WASH
 AURORA, COLORADO
 857 SOUTH HAVANA STREET

PHOTOMETRIC CUT SHEETS

CL501



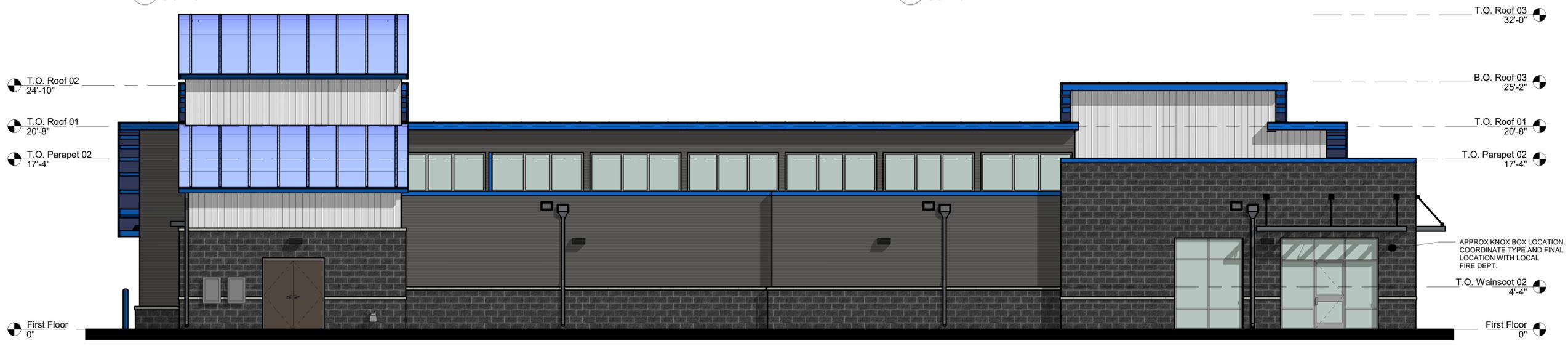
1 South Elevation-Color
SK-1 3/16" = 1'-0"



2 West Elevation-Color
SK-1 3/16" = 1'-0"



3 East Elevation-Color
SK-1 3/16" = 1'-0"



4 North Elevation-Color
SK-1 3/16" = 1'-0"

DATE: 11/1/18
SCALE: 3/16" = 1'-0"
DRAWN BY: PEW
CHECKED BY: JTK

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ARCHITECTURE
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LITTLETON, CO 80120
(720) 773-8800

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PROJECT NUMBER
8102.24

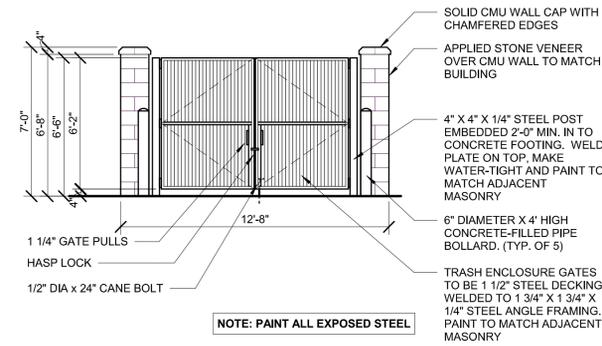
SHEET
SK-1

Exterior Elevations
- Color

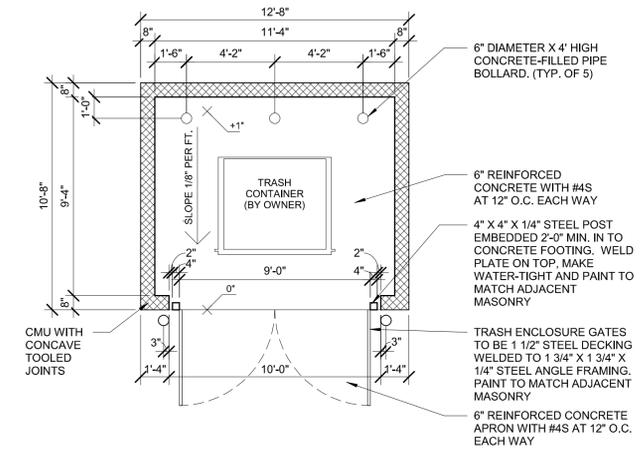
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7 Perspective Trash Enclosure
SK-2

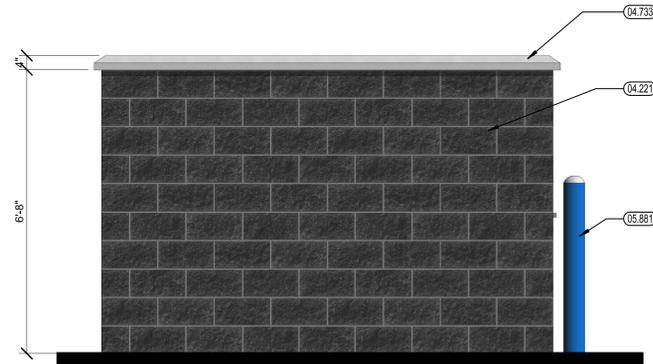


6 DTL-Trash Enclosure Elevation
SK-2 1/4" = 1'-0"

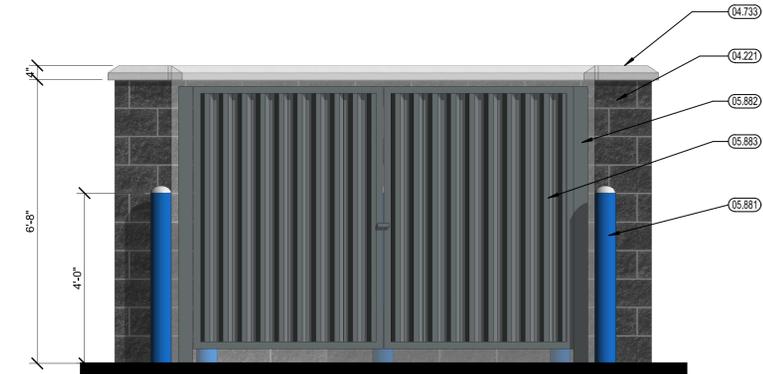


1 DTL-Trash Enclosure Plan
SK-2 1/4" = 1'-0"

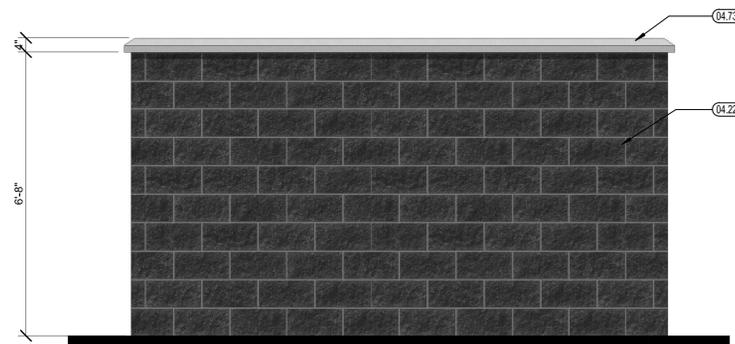
KEYNOTES	
Key Value	Keynote Text
04.221	8" NOMINAL SPLIT-FACED CMU; CMU-1, RE: STRUCTURAL
04.733	PRE-CAST STONE CAP, BASIC CONCRETE GREY
05.881	6" DIA, 48" TALL CONCRETE FILLED PIPE BOLLARD. PAINT TO MATCH PT-1
05.882	4" SQ GATE POST, PAINT TO MATCH PT-2
05.883	SWING GATE, 2X2 ANGLE FRAME WITH METAL DECK INFILL, PAINT TO MATCH PT-2



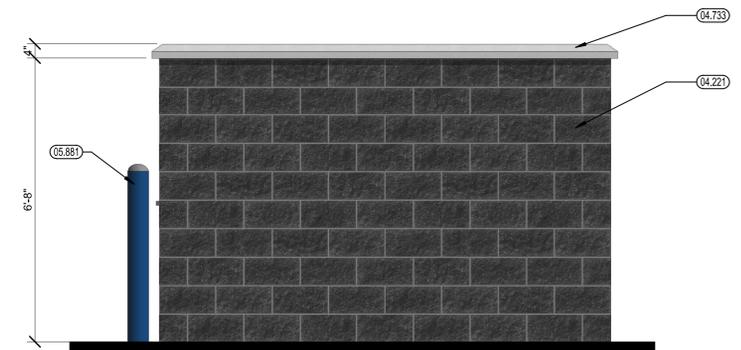
4 Trash Enclosure Side Elevation
SK-2 1/2" = 1'-0"



2 Trash Enclosure Front Elevation
SK-2 1/2" = 1'-0"



5 Trash Enclosure Rear Elevation
SK-2 1/2" = 1'-0"



3 Trash Enclosure Side Elevation
SK-2 1/2" = 1'-0"

DATE: 11/1/18
SCALE: As indicated
DRAWN BY: PEW
CHECKED BY: JTK

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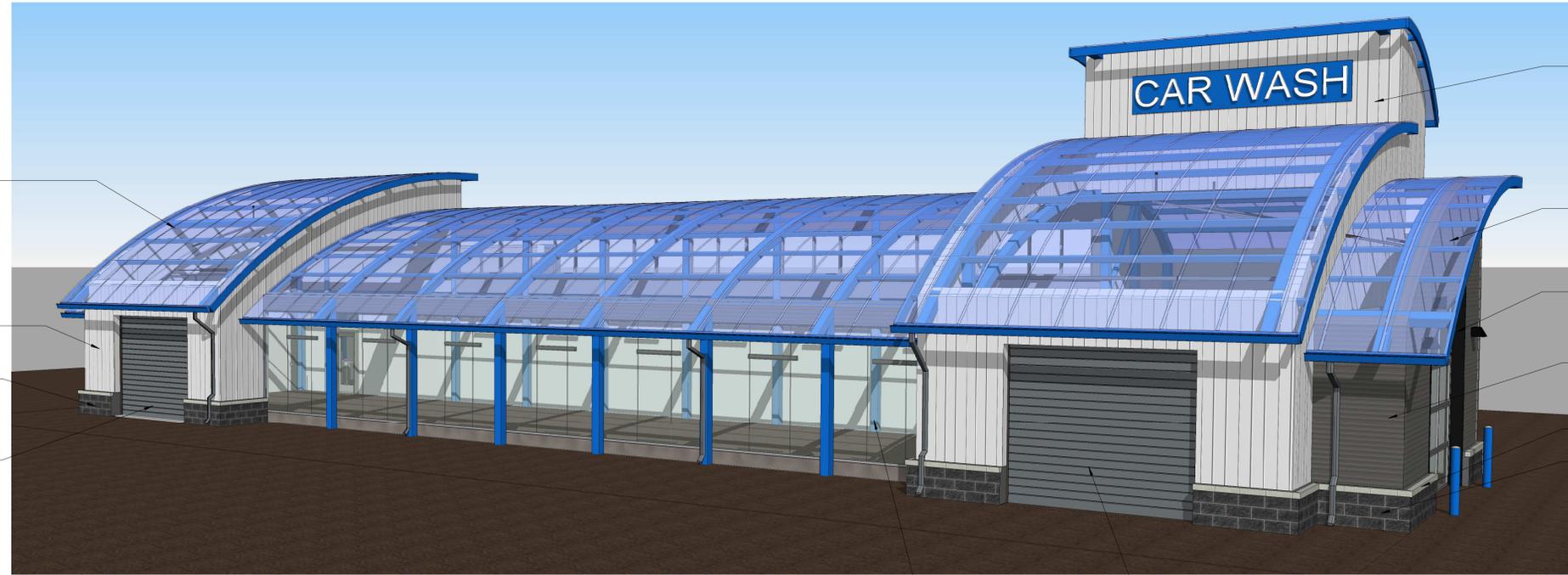
PROJECT NUMBER
8102.24

SHEET

SK-2

Trash Enclosure

POLYCARBONATE ROOF, R-1
 VERTICAL METAL PANEL, MP-2
 SPLIT FACED BLOCK, CMU-1
 DOORS AND DOWNSPOUTS, PT-2



Perspective 1

BUTT GLAZED WINDOWS PAINTED DOORS, PT-2

VERTICAL METAL PANEL, MP-2
 POLYCARBONATE ROOF, R-1
 STEEL STRUCTURE AND TRIM, PT-1
 HORIZONTAL METAL PANEL, MP-1
 4" ACCENT BLOCK, 1/2" OFFSET OUT, CMU-2
 SPLIT FACED BLOCK, CMU-1

- R-1 POLY GAL POLYCARBONATE POLY GAL BLUE
- PT-1 RAL 5017 TRAFFIC BLUE
- PT-2 SHERWIN WILLIAMS SW 7075, WEB GREY
- MP-1 CMG, ULTRA RIB, WEATHERED ZINC
- MP-2 METAL SALES TLC-2 METALLIC SILVER
- CMU-1 BEST BLOCK CHARCOAL GREY
- CMU-2 BEST BLOCK CHARCOAL GREY

POLYCARBONATE ROOF, R-1
 VERTICAL METAL PANEL, MP-2
 HORIZONTAL METAL PANEL, MP-1
 SPLIT FACED BLOCK, CMU-1



Perspective 2

ALUMINUM STOREFRONT, CLEAR ANODIZED

VERTICAL METAL PANEL, MP-2
 STEEL STRUCTURE AND TRIM, PT-1
 AWNINGS, PT-2
 KNOX BOX, COORDINATE TYPE AND LOCATION WITH FIRE DEPT
 4" ACCENT BLOCK OFFSET OUT 1/2" CMU-2
 SPLIT FACED BLOCK, CMU-1

DATE: 11/1/18
 SCALE:
 DRAWN BY: PEW
 CHECKED BY: JTK

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PROJECT NUMBER
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SHEET
SK-3

Rendering